

STATUTORY SERVICES REPORT

At:

**Marketfield Road
Redhill
Surrey**

For:

**REIGATE & BANSTEAD BOROUGH COUNCIL
Reigate Town Hall
Castlefield Road
Reigate
Surrey
RH2 0SH**



Engineers:

**CUDD BENTLEY CONSULTING LTD
Ashurst Manor
Church Lane
Sunninghill, Ascot
Berkshire
SL5 7DD**



**Tel: (01344) 628821
Fax: (01344) 623448
www.cuddbentley.co.uk**

**Date: 28 April 2016
Ref: 4591/3.03/Rev F / AC**

Record of Revisions.		
Date.	Revision.	Description of change.
09/07/2015	A	Report updated to reflect received information
24/07/2015	B	Drawing updated, UKPN quote included, fees advised for Sutton & East Surrey Water
03/10/2015	C	BT Quotation & Diversion Works added
26/10/2015	D	Thames Water, Gas & Sutton & East Surrey Water added
13/01/2015	E	Virgin Quotation added. CATV Description updated under Index 14

INDEX

- 1.0 INTRODUCTION**
- 2.0 SUMMARY**
- 3.0 UTILITIES REPORT**
- 4.0 ELECTRICITY – UKPN**
- 5.0 WATER – SUTTON & EAST SURRY WATER**
- 6.0 SEWERS – THAMES WATER**
- 7.0 GAS – SOUTHERN GAS NETWORKS**
- 8.0 TELECOMS – BT**
- 9.0 INSTALCOM (FIBERNET)**
- 10.0 TELECOMS - VIRGIN MEDIA**
- 11.0 OFCOM – MOBILE PHONE BASES**
- 12.0 VODAFONE**
- 13.0 NETWORK RAIL**
- 14.0 CATV**
- 15.0 NEW BELLMOUTH ONTO A23 MARKETFIELD ROAD**
- 16.0 BUDGET COSTS**
 - 16.1 UKPN**
 - 16.2 Sutton and East Surrey Water**
 - 16.3 Thames Water**
 - 16.4 Instalcom**
 - 16.5 BT**
 - 16.6 Gas**
 - 16.7 Virgin**

Appendix 1

COMBINED EXISTING STATUTORY SERVICES DRAWING

Appendix 2

STATUTORY QUOTATIONS

1.0 INTRODUCTION

Cudd Bentley Consulting were instructed by Reigate & Banstead Borough Council to undertake statutory services investigations for the proposed development at Marketfield Road, Redhill.

The outline scheme comprises a six-screen cinema, four large glass-fronted retail units and four family style restaurants, which will front onto the High Street and Market Field Way. A basement will be provided for parking for circa 90 residential units which will be located above the cinema and retail units.

This report details the extent of the statutory services that are in the vicinity of the site and impact the proposed development works.

Please note the received information from the various Statutory Authorities is for guidance only and should not be relied upon for its accuracy, further investigation should be undertaken to verify the indicated positions.

2.0 SUMMARY

Based on the initial received statutory services information the following services will be impacted by the development proposals.

- Power – UKPN
- Water – Sutton & East Surrey Water
- Foul & Surface Water – Thames Water
- Gas – SGN
- Telecoms – BT
- Instalcom – Telecoms
- Virgin Media -Telecoms

The following companies have plant in the vicinity of the proposed development but appear to be outside of the proposed works.

- Ofcom – Mobile Phone Masts
- Vodafone – Telecoms
- Network Rail – Signalling/Comms

UKPN have transformers, high and low voltage cabling within the area which will require relocation.

The area between existing units 12 & 18 fronting the High Street acts as a route for various services, based on the new proposals this area will be restricted and the following services will require amendment.

- Water – Sutton & East Surrey Water
- Surface Water – Thames Water
- BT – Telecoms
- Instalcom – Telecoms
- Power – HV and LV Cabling

Existing foul and surface water diversions running through the site must be dealt with as early as possible with Thames Water to allow any rejection/approvals to be dealt with and programmed into the construction phase/s as it is anticipated sewer diversions will require a great deal of time and effort with highways and to obtain approval licences/road closures for temporary road diversions. Sewer diversions may also impact on services crossing over the sewers which also require minimum depths to be observed.

The Thames Water programme is currently 52 weeks from acceptance of the works, and there are unknown issues and risks associated with the diversions which will require provisional sum/s above the quotation figures provided by Thames Water. Provisional sums are a better method of controlling unknown events especially with buried systems as this allows better control and financial direction/release and programme implications.

Virgin Media has a ducted cabling route entering Market Field Road with services rising on the external side elevation wall of property 42/44 (Surrey House) which will require to be decommissioned and removed.

Instacom has fibre cabling network services running up the rear service road between existing shop units 18 – 44 and will require relocation.

BT has underground plant and joint boxes passing between shop units 12-18. This service appears to serve the rear of Marylebone House. Underground plant and joint boxes are also indicated within Market Field Road (South) and may be affected by the proposed works.

3.0 UTILITIES REPORT

Affected Utilities

Data Supplier	Type	Date Received
Sutton & East Surrey	Mains	09/06
Thames Water	Sewers	09/06
BT	Telecoms	09/06
Instalcom (formerly known as Fibernet)	Telecoms	09/06
UK Power Networks	Electricity	17/06
Network Rail	Rail	17/06
Southern Gas Networks	Gas	17/06
Virgin Media	Telecoms	14/07

Unaffected Utilities

Data Supplier	Type	Date Received
GTC	Gas	09/06
SSE Pipelines Ltd/ Neos Networks	Gas /Telecoms	09/06
BskyB	Telecoms	09/06
Colt	Telecoms	09/06
Verizon Business (formerly MCI Worldcom, MFS)	Telecoms	09/06
Trafficmaster	Telecoms	09/06
CityFibre	Telecoms	09/06
Fulcrum Pipelines Ltd	Gas	09/06
Interoute	Telecoms	09/06
Energetics	Electricity / Gas	09/06
McNicholas – TATA	Telecoms	11/06
McNicholas – KPN	Telecoms	11/06
KCOM Group	Telecoms	11/06
Vtesse Dark Fibre Network	Telecoms	Awaiting

Within Vicinity but Outside Development Area:

Data Supplier	Type	Date Received
Linesearch.org – Zayo	oil / Fuel	09/06
OFCOM register of Mobile Phone Bases	Telecoms	09/06
Vodafone	Telecoms	17/06

4.0 UKPN

The mapping details from UKPN indicate that both high voltage and low voltage cabling will be affected by the proposed re-development of the site and require disconnection and or diversion to suit the new proposals.

There is a substation located behind existing shop units 18 & 20 occupied by BHF charity shop and Mamma Mia café respectively. The substation comprises 3 No. 500kVA transformers along with associated switches & cabling serving town centre properties and local electrical loading requirements. The substation will need to be relocated.

From our initial enquiry to UKPN for budget costs to clear the site of all their cabling, equipment and apparatus, we have received a positive response and their proposal is to establish a new substation integrated into the new development consolidating the existing 3 No. transformers into 1 No. 1mVA rated transformer subject to detailed design and analysis of the existing loads. Our initial load assessment for the new development indicate that these can be accommodated by a 1mVA transformer.

Generally, existing HV cabling will be diverted around the perimeter of the site. The majority of the LV cable routes exit towards the High Street from the substation and therefore can be rerouted in the pavement highways to a new substation location.

A space of approximately 8m x 4m x 2.6m will be required for the substation with full unhindered access at ground floor level along with cross flow ventilation arrangements. Provision for accommodating the substation will need to be discussed and developed in connection with the Architects.

5.0 WATER – SUTTON & EAST SURREY WATER

Sutton and East Surrey Water currently have a 100mm main running between shop units 12 – 18 fronting the High Street. This main will require diversion to accommodate the proposed works and formal quotations have now been received from Sutton & East Surrey Water for budget purposes. The main at the rear of Marylebone House appears to be outside the area of the proposed works, this has been verified by means of a radar survey. There are two further mains indicated on the drawings which are at the rear of Station Road and Market Field Road which look to be outside of the affected area. Individual disconnections will be required to the proposed buildings that will be demolished.

Applications for the new water supplies have also been received and details are contained within section 16 of this report.

6.0 FOUL & SURFACE WATER DRAINAGE - THAMES WATER

The proposed development site has existing separate foul and surface sewers running through the site and as such will require to be diverted to allow new foundation/piling works to be installed. Existing sewer invert levels make it unlikely the proposed buildings could be built over the existing sewers.

Initial contact with Thames water requires a sewer diversion application form to be issued for initial review by Thames water.

Existing foul and surface water drainage not being retained for reuse will become redundant and removed as part of the proposed enabling works.

Applications/initial design works have been instructed which were issued to Thames Water week commencing 27th July 2015, and written quotations received from Thames Water are enclosed within this report.

Thames Water has identified additional issues and risks associated with some aspects of the sewer diversions which require further site investigation/s to close out the unknown elements and risks which may have additional costs involved.

These unknown risks may also affect Thames water programme of 52 weeks and costs may rise if left unresolved and therefore recommend further site investigations be instructed earlier rather than later to mitigate and resolve unknown element/s and risks identified by Thames Water as stated within the proposed works documents enclosed within this report.

7.0 GAS – SGN

Low pressure gas mains are indicated within the vicinity of the proposed works, these are located at the rear of Marylebone House, Station Road and Market Feld Road. From the submitted drawings these mains appear to be outside of the proposed works and have not been identified by the radar survey, as a precaution trial digs should be undertaken at a later stage when setting out of the building is known. General disconnections will be required to the demolished buildings and budget costs are contained within section 16 of this report. A 400mm main is located within the High Street but is outside of the development area, subject to confirmation from SGN sufficient capacity should be available for the new development, a quotation has been received for the new supplies and is contained within section 16 of this report.

8.0 TELECOMS – BT

From the received details the main area of diversion relates to their underground plant and joint boxes passing between shop units 12-18. This service appears to serve the rear of Marylebone House. Underground plant, joint boxes and distribution points are also located within the High Street and should be unaffected by the works subject to confirmation and setting out of the new buildings. Underground plant and joint boxes are also indicated within Market Field Road (South) and may be affected by the proposed works. Details of budget costs and the associated works are contained within section 16 of this report.

9.0 INSTALCOM (FORMALLY FIBERNET)

The received details from Instalcom are at a large scale and lack specific details, however it indicates that ducted fibre cables run within the development area entering Market Field Road from the A23 before turning north running along the existing service road to the rear of shop units 18-44. The route then appears to turn east through the Market Field Road passageway linking with the High Street.

A budget cost proposal has been received from Instalcom indicating that the existing fibre cables be extended along Market Field Road (South) in new underground ducting before running up the High Street within the pavement to link with the existing draw in cable pit located approximately to the front of existing shop unit 12 .

10.0 VIRGIN MEDIA

Virgin Media has ducted cabling services that enters Market Field Road from the west before rising on the external side elevation wall of property 42/44 (Surrey House) which will require to be decommissioned and removed.

11.0 OFCOM

3 No. mobile phone bases are within the vicinity of the proposed works but outside of the development area, therefore no works are anticipated.

12.0 VODAFONE

Vodafone have plant in the vicinity but outside of the development area therefore no works are expected.

13.0 NETWORK RAIL

Network Rail have provided various drawings and sketches relating to their assets adjacent to Redhill Station, upon review these assets are not affected by the proposed development.

14.0 CATV

Considered to be the Instalcom Installation as above.

15.0 NEW BELLMOUTH ONTO A23 MARKETFIELD ROAD

It is assumed that a new bellmouth is required to link with Market Field Way for the new access / service road to serve the new development and existing retained property known as Marleybone House.

The following existing services that are shown on to the radar scan will need to be either protected, or lowered to suit the depth and alignment of the bellmouth opening.

- Traffic signalling services
- LV cabling – (considered to be serving highways, lamppost and signage).
- HV cabling – (relocated as part of substation relocation).

16.0 BUDGET COSTS

16.1 UKPN

We have received a budget quotation from UKPN dated 2nd July 2015 for clearing the site of all their HV/LV cabling, equipment & apparatus along with costs for provision of new supplies to serve the new development. Their estimation of costs detailed below is subject to confirmation of existing loads on the site & will require further investigation by UKPN.

- £75,000.00 exc VAT to site a transformer in a substation built by the customer, should the new development load be less than 1mVA. An additional £60,000 exc VAT for another transformer if the new load cannot be accommodated by 1 No transformer.
- £60,000.00 exc VAT to relocate the existing plant into the new integral substation, should the load of all 3No existing transformers be less than 1mVA.
- £35,000.00 exc VAT for the 11kV cabling.

In summary: £170,000.00 exc VAT for the relocation/diversion and installation of a new 2No transformers for the new and existing site loads. An additional £60,000 exc VAT for an additional transformer if required.

16.2 Sutton and East Surrey Water

Details have been received from Sutton and East Surrey Water covering the new supplies, infrastructure (water and sewage) and diversion costs. The budgets are as follows:

- | | |
|--|-------------|
| 1. New water supplies including infrastructure costs | £101,583.66 |
| 2. New 180mm main to support the development | £78,182.00 |

The cost of £78,182.00 does include the diversion of the 100mm main between High Street units 12 and 18 although this is not clear from the submitted documentation, further confirmation has been requested from Sutton and South East Water.

16.3 Thames Water

A Thames Water quotation has been received totalling £735,200 plus VAT with a 52 week programme of works.

16.4 Instalcom

We have received a budget quotation from Instalcom dated 23rd July 2015 in the sum of £62,572.77 exc VAT to reroute the existing fibre network services away from the site development. Their costs assume that night time working will be required in the pedestrianised area in the High Street.

16.5 BT

We have received a budget quotation from BT dated 22nd September 2015 in the sum of £29,137.32 inc VAT to undertake the necessary underground telecom diversions associated with the development including the telegraph poles serving existing shop units.

16.6 Gas

Based on the proposed development and radar survey there does not appear to be any gas mains that require diversion, budget costs have been obtained for the new supplies and disconnections.

- | | |
|-----------------------|------------|
| 1. New supplies | £58,700.00 |
| 2. Gas disconnections | £48,898.00 |

16.7 Virgin Media

The Virgin detailed estimate was received via email dated 12th January 2016 in the sum of £835.15 inc VAT. The works involve the disconnection and recovery of their equipment serving a business within Surrey House and is valid for 3 months.

Appendix 1

COMBINED EXISTING STATUTORY SERVICES DRAWING

General Notes

This drawing to be read in conjunction with all standard details and specifications. All dimensions to be verified on site. All works to comply with current building regulations.

NOTES

1. THE INFORMATION DETAILED ON THIS DRAWING HAS BEEN BASED ON SITE VISION SURVEYS LTD DRAWING AND 00/5/CE/S/20. FURTHER INVESTIGATIONS ARE ONGOING.

LEGEND

- E — ELECTRICITY
- FS — SEWAGE FOLL
- SW — SEWAGE SURFACE
- BT — BT SERVICE ROUTE
- W — WATER MAIN
- G — GAS - GENERAL
- TS — TRAFFIC SIGNAL
- CATV — CABLE TELEVISION



INFORMATION

Rev	Description	Iss	Date
-----	-------------	-----	------



Cudd Bentley Consulting
 Cudd Bentley Consulting Ltd, Silk Walk, 800, 4th Floor, 10, 12, 14, 16, 18, 20, 22, 24, 26, 28, 30, 32, 34, 36, 38, 40, 42, 44, 46, 48, 50, 52, 54, 56, 58, 60, 62, 64, 66, 68, 70, 72, 74, 76, 78, 80, 82, 84, 86, 88, 90, 92, 94, 96, 98, 100, 102, 104, 106, 108, 110, 112, 114, 116, 118, 120, 122, 124, 126, 128, 130, 132, 134, 136, 138, 140, 142, 144, 146, 148, 150, 152, 154, 156, 158, 160, 162, 164, 166, 168, 170, 172, 174, 176, 178, 180, 182, 184, 186, 188, 190, 192, 194, 196, 198, 200, 202, 204, 206, 208, 210, 212, 214, 216, 218, 220, 222, 224, 226, 228, 230, 232, 234, 236, 238, 240, 242, 244, 246, 248, 250, 252, 254, 256, 258, 260, 262, 264, 266, 268, 270, 272, 274, 276, 278, 280, 282, 284, 286, 288, 290, 292, 294, 296, 298, 300, 302, 304, 306, 308, 310, 312, 314, 316, 318, 320, 322, 324, 326, 328, 330, 332, 334, 336, 338, 340, 342, 344, 346, 348, 350, 352, 354, 356, 358, 360, 362, 364, 366, 368, 370, 372, 374, 376, 378, 380, 382, 384, 386, 388, 390, 392, 394, 396, 398, 400, 402, 404, 406, 408, 410, 412, 414, 416, 418, 420, 422, 424, 426, 428, 430, 432, 434, 436, 438, 440, 442, 444, 446, 448, 450, 452, 454, 456, 458, 460, 462, 464, 466, 468, 470, 472, 474, 476, 478, 480, 482, 484, 486, 488, 490, 492, 494, 496, 498, 500, 502, 504, 506, 508, 510, 512, 514, 516, 518, 520, 522, 524, 526, 528, 530, 532, 534, 536, 538, 540, 542, 544, 546, 548, 550, 552, 554, 556, 558, 560, 562, 564, 566, 568, 570, 572, 574, 576, 578, 580, 582, 584, 586, 588, 590, 592, 594, 596, 598, 600, 602, 604, 606, 608, 610, 612, 614, 616, 618, 620, 622, 624, 626, 628, 630, 632, 634, 636, 638, 640, 642, 644, 646, 648, 650, 652, 654, 656, 658, 660, 662, 664, 666, 668, 670, 672, 674, 676, 678, 680, 682, 684, 686, 688, 690, 692, 694, 696, 698, 700, 702, 704, 706, 708, 710, 712, 714, 716, 718, 720, 722, 724, 726, 728, 730, 732, 734, 736, 738, 740, 742, 744, 746, 748, 750, 752, 754, 756, 758, 760, 762, 764, 766, 768, 770, 772, 774, 776, 778, 780, 782, 784, 786, 788, 790, 792, 794, 796, 798, 800, 802, 804, 806, 808, 810, 812, 814, 816, 818, 820, 822, 824, 826, 828, 830, 832, 834, 836, 838, 840, 842, 844, 846, 848, 850, 852, 854, 856, 858, 860, 862, 864, 866, 868, 870, 872, 874, 876, 878, 880, 882, 884, 886, 888, 890, 892, 894, 896, 898, 900, 902, 904, 906, 908, 910, 912, 914, 916, 918, 920, 922, 924, 926, 928, 930, 932, 934, 936, 938, 940, 942, 944, 946, 948, 950, 952, 954, 956, 958, 960, 962, 964, 966, 968, 970, 972, 974, 976, 978, 980, 982, 984, 986, 988, 990, 992, 994, 996, 998, 1000.

COPLAN ESTATES

**MARKETFIELD WAY
 REDHILL, SURREY**

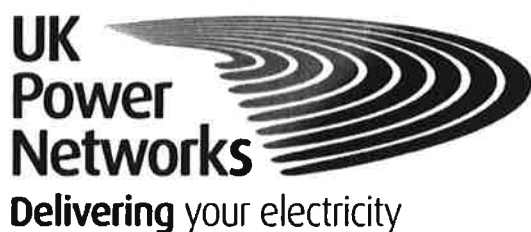
**EXISTING STATUTORY
 SERVICES LAYOUT**

Scale	1:200@A1	Client	CWW	Engineer	SB	Approved	SB	Date	JUL15
Project No.	4591	Drawing No.	SS01						

Appendix 2

STATUTORY SERVICES QUOTATIONS

1.0 UKPN



Registered
Office:
Newington
House
237 Southwark
Bridge Road London
SE1 6NP

Company:
UK Power
Networks
(Operations)
Limited

Registered in England and Wales
No: 3870728

Cudd Bentley Consulting
Ashurst Manor
Church Lane
Sunninghill
Berkshire
SL5 7DD

FAO Mr
A Cole

2/7/2015

Our Ref: 8500011782

Dear Mr Cole

Site Address: Market Field, Redhill

Thank you for your recent enquiry regarding the above premises. I am writing to you on behalf of South Eastern Power Networks PLC the licensed distributor of electricity for the above address trading as UK Power Networks.

I am pleased to be able to provide you with a budget estimate for the work.

It is important to note that this budget estimate is intended as a guide only. It has been carried out without a site visit or system studies. No enquiry has been made as to the availability of consent or the existence of any ground conditions that may affect the ground works. It is not an offer to provide the connection and nor does it reserve any capacity on UK Power Networks electricity distribution system.

1. Budget estimate:

The budget estimation for the cost of this work is:

- 1) £75,000 (exclusive of VAT) to site a transformer (T1) in a substation built by the customer, should the site load be less than 1 MVA.
- 2) £60,000 (exclusive of VAT) to re-locate the existing substation plant into the new integral substation, should the load of all 3 x 500 kVA transformers be loaded to less than 1 MVA (T2).
- 3) £35,000 (exclusive of VAT) for the 11 kV cabling.

£170,000 in all for the re-location of a transformer to feed the existing town load and installation of a 1 MVA transformer to supply 1 MVA of load on site. A second transformer to feed the site (T3) would cost in the order of £60,000, bringing the cost to £230,000 (exclusive of VAT).

Please see the attached plot for details.

This budget estimate is based on the following assumptions:

- The most appropriate Point of Connection (POC) is as described above.
- A viable footway cable route exists along the route we have assumed between the Point of Connection (POC) and the substation(s) required on your site.
- In cases where the Point of Connection (POC) is to be at High Voltage, that a substation(s) can be located on your premises at or close to the position we have drawn on the attached plan.
- Where electric lines are to be installed in private land UK Power Networks will require an easement in perpetuity for its electric lines and in the case of electrical plant the freehold interest in the substation site, on UK Power Networks terms, without charge and before any work commences.
- You will carry out, at no charge to UK Power Networks, all the civil works within the site boundary, including substation bases, substation buildings where applicable and the excavation/reinstatement of cable trenches , including the supply and laying of cable ducts.

The substation shall be built to Drg. EDS 07-0102-07, with the dimensions enlarged to those on the "Integral two transformer Extract" drawing to allow a second transformer to be fitted in the substation.

Your site load shall be fed from the LV ACB on T2 as Drg EDS 08-0143 Fig 11-9.

Should the load on site be greater than 1 MVA a third transformer will be required, in a separate substation built as EDS 07-00102-7. There is a maximum of 2 transformers in a substation.

UKPN legal department will sort out any costs / refunds due to the existing and proposed substations being of different land areas.

- Unless stated in your application, all loads are assumed to be of a resistive nature. Should you intend to install equipment that may cause disturbances on UK Power Networks' electricity distribution system (e.g. motors; welders; etc.) this may affect the estimate considerably.
- All UK Power Networks' work is to be carried out as a continuous programme of work that can be completed substantially within 12 months from the acceptance of the formal offer.

Please note that if any of the assumptions prove to be incorrect, this may have a significant impact on the price in any subsequent quotation. You should note also that UK Power Networks' formal connection offer may vary considerably from the budget estimate. If you place reliance upon the budget estimate for budgeting or other planning purposes, you do so at your own risk.

If you would like to proceed to a formal offer of connection then you should apply for a quotation, Please refer to our website https://www.ukpowernetworks.co.uk/internet/en/help-and-advice/documents/the_connection_process.pdf for 'The Connection Process' which details our application process. To help our progress any future enquiry as quickly as possible please quote the UK Power Networks Reference Number from this letter on all correspondence.

If you have any questions about your budget estimation or need more information please do not hesitate to contact me. The best time to call is between 9am to 4pm, Wednesday to Friday. If I am unavailable or engaged on another call when you ring, you can leave a message with another member of staff. I will call you back as soon as I am free.

Yours sincerely

R. Almond

R. Alexander,
Senior Designer,
Connections

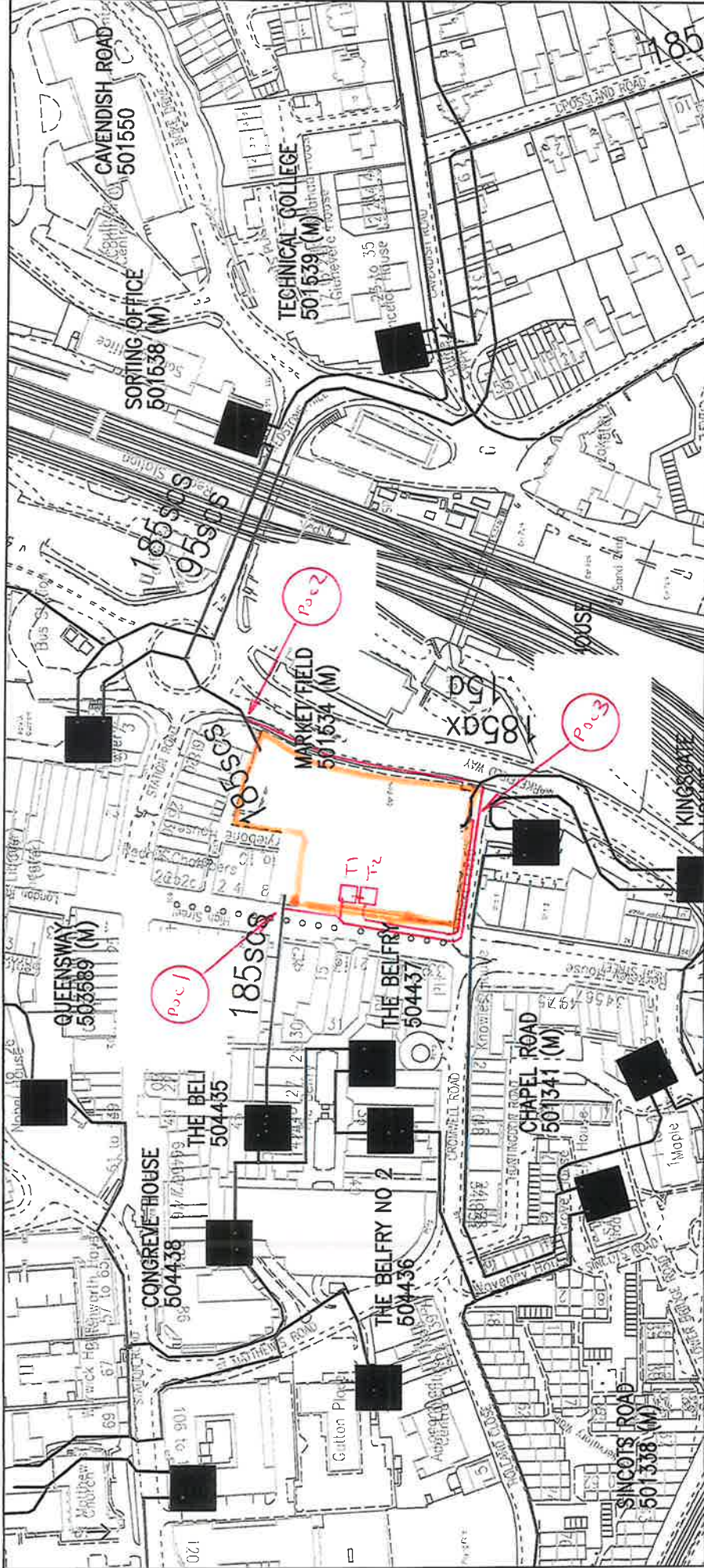
01622 352 172
robert.alexander@ukpowernetworks.co.uk

Title: Market Field, Redhill

T1 REVLANS EXISTING
T2 SUPPLIES SITE LOAD VIA ACB

JOB NO: 850 001 1782

STANDARD PLOT



The quality and accuracy of any print will depend on your printer, your computer and its print settings. Measurements scaled from this plan may not match measurements between the same points on the ground.

1. The position of the apparatus shown on this drawing is believed to be correct but the original landmarks may have been altered.
2. The exact position of the apparatus should be verified - use approved cable evidence tools prior to excavation using suitable hand tools.
3. The drawing indicates that total holes are carefully made avoiding the use of mechanical tools or picks until the exact location of all cables have been determined.
4. It must be assumed that each property and item of street furniture has an electricity supply. Services cables shown only where known.
5. All cables must be treated as being live unless proved otherwise by UK Power Networks.
6. The UK Power Networks must be alerted to all possible working more than 3 months after the issue date for excavation purposes.
7. Please be aware that electric cables/lines belonging to other owners of licensed electricity distribution systems may be present and it is your responsibility to identify their location.

1. UK Power Networks does not warrant that the information provided to you is correct. You must verify the information for your own use. If it causes the death of any person or causes personal injury to a person where such death or personal injury is caused by its negligence, UK Power Networks shall be liable to paragraph 2. UK Power Networks has no liability to you in contract, in tort or otherwise for any economic loss (including without limitation, loss of profit, loss, damage, cost, claims, demands, or expenses that you or any third party may suffer or incur as a result of using the information provided whether for physical damage to property or for any economic loss (including without limitation, loss of profit) or any special or consequential loss or damage whatsoever.

2. This plan has been provided to you on the basis of the terms of use set out in the covering letter that accompanies this plan. If you do not accept and/or do not agree with the terms of use set out in the covering letter you must not use the plan and you must return it to the sender of the information provided to you. It must not be given, sold or made available upon payment of a fee to a third party.



Grid Ref: TQ 28013 50522
Scale: 1:2500
(When Plotted at A4)
Plotted on: 02/07/2015
Plotted by: Bob, Alexander

Plan Provision
CHECK IT OUT BEFORE YOU DIG IT OUT
CALL 0800 056 5866
EMERGENCY - if you damage a cable or line
Phone 0800 096 3766 (24hrs) URGENTLY

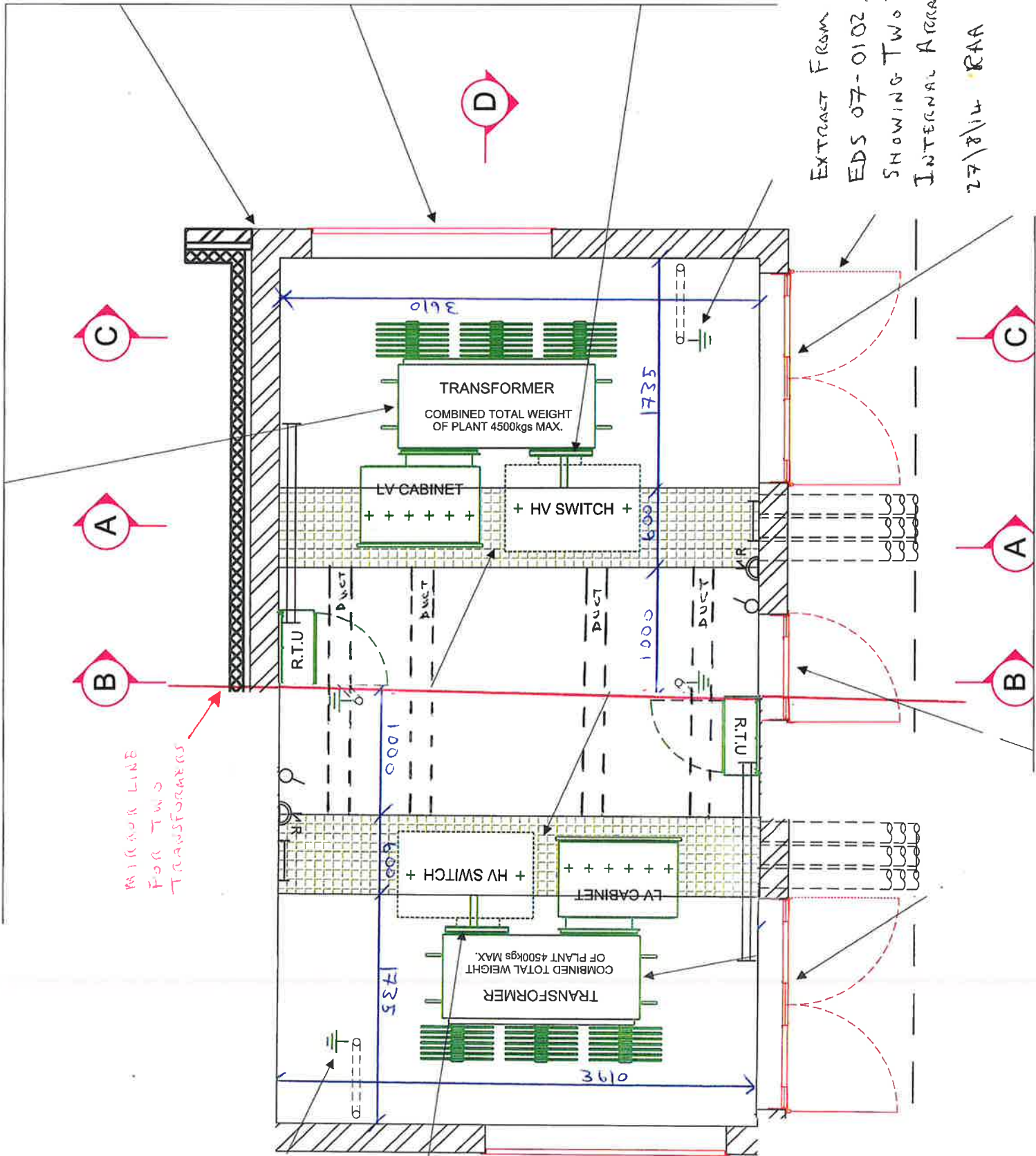
ALWAYS LOOK UP BEFORE YOU START WORK
Refer to HSE Guidance note GS6

Maps produced at 1:2500 scale are LV Geo-Schematics which show LV mains cables and overhead lines (in some cases at voltages). Prior to carrying out excavations you must refer to the 1:500 records to determine the location of all known underground plant and equipment.

Contact UK Power Networks on 0800 056 5866 for details of EHV Cable routes before commencing work.

VISITING AN OPEN POINT: Please mark on this plan all locations visited and open points as found, then return updated map to your Business Unit - Thank You.

Reproduced by permission of Ordnance Survey on behalf of HMSO. (c) Crown copyright and database right 2015. All rights reserved. Ordnance Survey Licence number 100019450. Data has been added to the Ordnance Survey base map; all proprietary rights in such additional data are and shall remain the exclusive property of (c) South Eastern Power Networks plc or London Power Networks plc each being a distribution licensee under section 6(1)(c) of the Electricity Act 1989 for the relevant distribution services area as that term is defined in such licensee's distribution licence. All rights in such data reserved.



MIRROR LINE FOR TWO TRANSFORMERS

EXTRACT FROM
 EDS 07-0102.07 REV A
 SHOWING TWO TRANSFORMER
 INTERNAL ARRANGEMENT
 27/8/14 RAA

2.0 Sutton and East Surrey Water

Our ref: 12565/2965

Your ref:

15 September 2015



Cudd Bentley Consulting
Ashurst Manor
Church Lane
Sunninghill
Berkshire SL5 7DD

Sutton and East Surrey Water plc
London Road
Redhill
Surrey RH1 1LJ
Telephone 01737 772000
Facsimile 01737 766807
Website www.waterplc.com
Email sesw@waterplc.com

Dear Sirs

Application for a Water Supply connection - Marketfield Way Redhill

Thank you for your recent request for a water supply connection at the above address. Please find enclosed a quotation for the work.

Quotation

The quotation is based on the information you have provided. It is your responsibility to carry out all site investigation work, including an assessment for land contamination. Any changes to the site conditions which require us to pay additional costs will be chargeable.

This quotation is valid for three months, by which time payment should have been received. If you are paying by cheque, please use the slip provided. The work must take place within three months of the date of this letter.

The quotation covers the cost of a connection to the water main, laying the part of the water service pipe from the main to the boundary of the public highway in which the main is laid (the 'communication pipe'), and providing a meter and principal boundary stopcock at this point. You are responsible for providing all necessary pipework beyond the principal boundary stopcock.

Any connections 63mm (external diameter) or above, including fire mains, will require pressure testing, chlorination and sampling, with the certificate sent to us for approval.

Water Meters

Water and sewerage services for all new properties are charged on a measured basis.

Standard Connection Charges

For details of these please refer to our Charges Scheme booklet, which can be downloaded from our website at www.waterplc.com.

More Information

Please visit the *Developers* section of our website or contact our Network Services Team on 01737 772000 or by email at network_services@waterplc.com if you have any questions about your application.

Yours faithfully,

A handwritten signature in black ink that reads "P. Melhuish".

Paula Melhuish
Team Leader Network Services
Enc



Quotation ref: 12565/2953

Mains ref:

15 September 2015



Cudd Bentley Consulting
Ashurst Manor
Church Lane
Sunninghill
Berkshire SL5 7DD

Sutton and East Surrey Water plc
London Road
Redhill
Surrey RH1 1LJ
Telephone 01737 772000
Facsimile 01737 766807
Website www.waterplc.com
Email sesw@waterplc.com

Dear Sirs

Application for a Water Supply connection - Marketfield Way Redhill

I refer to your recent application.

One copy of your plan is returned herewith showing the company's proposals for new mains on the above development. The mains may be laid by Agreement under Sections 41 & 42 of the Water Industry Act 1991, details of which are enclosed for your information.

We will lay approximately 205 metres of 180mm offsite main at an estimated cost of £78,182.

You may pay for these mains by either of these two alternatives.

1. Agreement Main

You will be required to deposit a sum of £10,000 as security for payment of the relevant deficit.

2. Non-Returnable Contribution

You will be required to pay a Non-Returnable Contribution of £7500.

The estimates are valid for three months from the date of this letter, after which time they will be reviewed. The prices are based on the assumption that all pipes will be laid in soft dig and no allowance has been made for any permanent reinstatement. Should it be necessary to lay beneath concrete/tarmac etc., then additional costs may be applied.

Any alterations to the site layout should be notified to us immediately and no allowance has been made for imported backfill. This will be charged extra if required. The trench will be backfilled with as dug material unless notified otherwise.

The above estimates do not include the cost of the services or infrastructure charges and these will be dealt with separately.

Enc



These costs are based on the information you have provided. It is the responsibility of the person or persons applying for the water supply to carry out all site investigation work. It is therefore assumed that you have carried out all necessary site investigations and are satisfied that there are no adverse conditions on the site that may affect these costs.

If the Company is subsequently informed of any such conditions which incur additional costs associated with the provision of the water supply, these costs will be borne by you.

The Company will not enter into any correspondence regarding the suitability of the water supply arrangements if conditions exist that we were not made aware of at the time our costs were prepared.

If you have any questions please ring me on 01737 785830

Yours faithfully

Mathieu Brown
Operations Support Technician
Network Services

Enc



Quotation

Sutton and East Surrey Water plc London Road, Redhill, Surrey RH1 1LJ

Telephone: 01737 772000 Email: network_services@waterplc.com

Registered office: As above. A public company in England and Wales No. 244875

15 September 2015

Cudd Bentley Consulting

Ashurst Manor

Church Lane

Sunninghill

Berkshire SL5 7DD



Quote Number: 12565/2961

**Site: Marketfield Way
Redhill**

Subject to acceptance and payment within one month of the date of the quotation and to the work not being delayed by you for more than three months from the date of acceptance. Sections 45-47 of the Water Industry Act 1991 will apply.

Tap 180mm main in Marketfield Way.

Lay 1 No. 90mm communication pipe about 2m long for retail units, restaurants and cinema (plots 1-8). Fit valve and 50mm meter in chamber. Reinstatement surfaces. Supply 4 no. 15mm radio meters for retail units and 4 no. 25mm radio meters for restaurants and cinema, to be collected from our stores in Frenches Road, Redhill at your convenience.

£3,701.74

This cost is inclusive of the charge for Water Regulations inspection.

Remainder of services(s) to be arranged by you. (See the application for a Water Supply Connection letter enclosed).

Following receipt of your payment and a satisfactory inspection of your pipework, the connection will normally be made within 21 days subject to the requirements of the New Roads and Street Works Act 1991 and the completion and commissioning of any on-site mains.

Where appropriate any existing service being used as a temporary building supply will be capped off at the time the new service is laid.

All trenches must be left open ready for a water regulations inspection if you are not using an Approved contractor. We do not accept photographs or spy holes in replacement of inspecting an open trench on site. For further information and advice please visit our website www.waterplc.com and click the developers tab and then 'Getting connected' to see our fact sheet 'Laying water supply pipe'.

VAT 20%

£740.35

Total

£4,442.09

Payment Advice

Quote Number: 12565/2961

Tue 15 September 2015

Cudd Bentley Consulting

Ashurst Manor

Church Lane

Sunninghill

Berkshire SL5 7DD

Service

£3,701.74

VAT

£740.35

**Site: Marketfield Way
Redhill**

Total

£4,442.09

Payable in advance - Make cheques payable to Sutton and East Surrey Water plc. The payment advice only needs to be returned but receipts will not be given unless specifically requested and the quotation returned.

Quotation

Sutton and East Surrey Water plc London Road, Redhill, Surrey RH1 1LJ

Telephone: 01737 772000 Email: network_services@waterplc.com

Registered office: As above. A public company in England and Wales No. 244875

15 September 2015

Cudd Bentley Consulting

Ashurst Manor

Church Lane

Sunninghill

Berkshire SL5 7DD



Quote Number: 12565/2965

**Site: Marketfield Way
Redhill**

Subject to acceptance and payment within one month of the date of the quotation and to the work not being delayed by you for more than three months from the date of acceptance. Sections 45-47 of the Water Industry Act 1991 will apply.

Tap 180mm main in Marketfield Way.

Lay 1 No. 125mm communication pipe about 2m long for residential units and retail units 9-11

Fit valve and 80mm meter in chamber. Reinststate surfaces. Supply 123 no. 15mm radio meters to be collected from our stores in Frenches Road, Redhill at your convenience

£10,949.17

This cost is inclusive of the charge for Water Regulations inspection.

Remainder of services(s) to be arranged by you. (See the application for a Water Supply Connection letter enclosed).

Following receipt of your payment and a satisfactory inspection of your pipework, the connection will normally be made within 21 days subject to the requirements of the New Roads and Street Works Act 1991 and the completion and commissioning of any on-site mains.

Where appropriate any existing service being used as a temporary building supply will be capped off at the time the new service is laid.

All trenches must be left open ready for a water regulations inspection if you are not using an Approved contractor. We do not accept photographs or spy holes in replacement of inspecting an open trench on site. For further information and advice please visit our website www.waterplc.com and click the developers tab and then 'Getting connected' to see our fact sheet 'Laying water supply pipe'.

VAT 0%

£0.00

Water infrastructure charge

£43,726.80

Thames Water Sewerage Infrastructure Charge

£42,465.60

Total

£97,141.57

Payment Advice

Quote Number: 12565/2965

Tue 15 September 2015

Cudd Bentley Consulting

Ashurst Manor

Church Lane

Sunninghill

Berkshire SL5 7DD

**Site: Marketfield Way
Redhill**

Service

£10,949.17

VAT

£0.00

Water infrastructure charge

£43,726.80

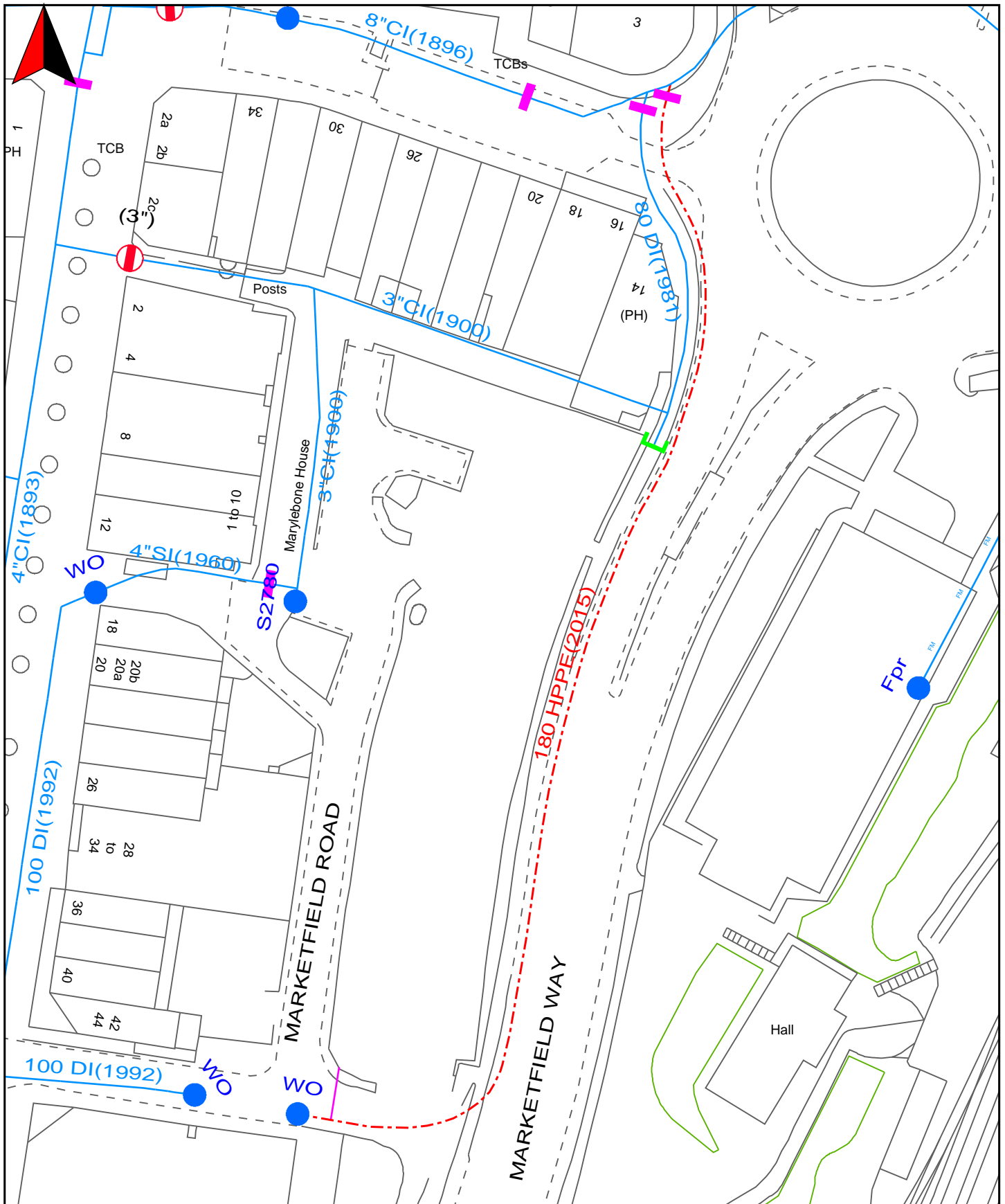
Sewerage Infrastructure Charge

£42,465.60

Total

£97,141.57

Payable in advance - Make cheques payable to Sutton and East Surrey Water plc. The payment advice only needs to be returned but receipts will not be given unless specifically requested and the quotation returned.



Existing mains shown thus:	
Proposed works shown thus:	
In Progress works shown thus:	
Abandoned works shown thus:	
On Hold works shown thus:	

TITLE: Marketfield Way/Marketfield Road,
Redhill



ACCURACY OF PLANS WARNING
The information on this plan with regard to the company's underground apparatus is given in good faith but is NOT GUARANTEED to be free from errors or omissions and should be relied upon only as a general indication of the location and nature of such apparatus. The actual location of water pipes and communication pipes must be determined by hand excavation.

SECURITY & CONFIDENTIALITY OF INFORMATION
Documents and drawings are NOT to be disclosed to 3rd parties without prior agreement of Sutton and East Surrey Water plc.

CENTROID: X:528017
Y:150540

SHEET NUMBER(S) :
TQ2750 TQ2850

SCALE: 1:750

DATE: 14/09/2015

L.C.SONDEN
B.Sc., C.Eng., M.I.C.E.
Wholesale Services Director
Sutton and East Surrey Water plc
London Road Redhill
Surrey RH1 1LJ

Telephone 01737 772000
Facsimile 01737 766807
Internet www.waterplc.com

3.0 Thames Water

THAMES WATER UTILITIES LIMITED
DEVELOPER SERVICES (CUSTOMER LED)



FOUL AND SURFACE WATER SEWER DIVERSION
Marketfield Way, Redhill, Section 185 Sewer Diversion Report
TW Application Ref X4502/1073
TW Interaction No. 1013117163

Author	Ed Woodger/ James Hern
Title	Project Engineer
Date	October 2015
Revision	A1
Approved by	Paul Bergin
Title	Design Manager
Date	October 2015

CONTENTS

ITEM	DESCRIPTION
1	SUMMARY
2	BACKGROUND
3	PROPOSED FOUL WATER AND SURFACE WATER SEWER DIVERSION ALIGNMENTS
4	CONSTRUCTABILITY CONSIDERATIONS
5	SCOPE OF WORKS
6	BUDGET ESTIMATE AND PROGRAMME
7	ISSUES AND RISKS

Appendix A: Original proposal for diversions submitted by the Developer

Appendix B: Thames Water GIS plan showing additional sewers identified during the Developer's buried services survey

1.0 **Summary**

This report is being provided in response to a diversion request served under Section 185 of the Water Industry Act (1991). These foul water and surface water sewer diversions are required to allow for the construction of a nine storey building comprised of 120 residential units, cinema, retail and food areas.

The application has been served by Cudd Bentley Consulting (Mr Stephen Bainbridge) Ashurst Manor, Church Lane, Sunninghill, SL5 7DD. Mr Stephen Bainbridge has submitted the application on behalf of the Developer, Reigate and Bunstead Council, Town Hall, Castlefield Road, Reigate, RH2 0SH.

This report will outline the outcome of initial investigations, the anticipated scope of works and the issues and risks associated with diverting the foul water and surface water sewers to allow for the construction of the proposed development.

2.0 Background

The proposed development is located to the north of Marketfield Road and east of High Street in the town centre of Redhill, Surrey. The development will comprise of a nine storey building containing 120 residential units, a cinema, retail and food areas.



Figure 1. The proposed development site is shown within the green area

A number of foul and surface water sewers cross the footprint of the development site and will require diverting.

3.0 Proposed Foul Water and Surface Water Sewer Diversion Alignments

The Developer has proposed diversion routes for the existing foul and surface water sewers that cross the development site (See Appendix A).

Figure 2 shows the diversion routes and extent of sewers within the development site that will require diverting. This proposal forms the starting point for this investigation.

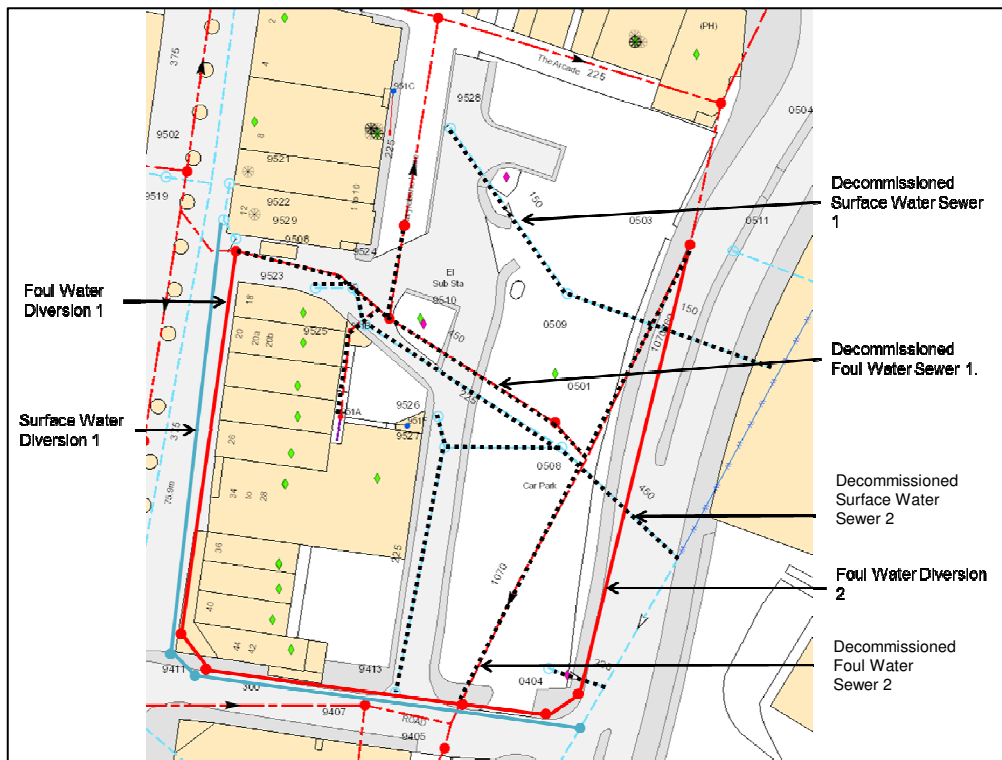


Figure 2. Sewers to be decommissioned and sewers to be diverted to allow for construction of the proposed development (red = foul sewer; blue = surface water sewer)

Outline scope of works:

- *Foul Water Diversion 1 – Construct 110m of 450mm diameter foul water sewer to an average depth of 2m. 2 No. 1.5m diameter manholes required.*
- *Foul Water Diversion 2 – Construct 97m of 1070mm* diameter foul water sewer to an average depth of 2.5m. 3 No. 2.1m diameter manholes required.*
**existing diameter varies on TW GIS. Exact diameter to be confirmed during detailed design*
- *Surface Water Diversion 1 – Construct 140m of 450mm diameter surface water sewer at an average depth of 2.5m. 3 No. 1.5m diameter manholes required.*

Decommission

- *Decommissioned Foul Water Sewer 1 – Decommission 68m long 450mm diameter foul water sewer including 2 No. manholes.*
- *Decommissioned Foul Water Sewer 2 – Decommission 87m long 1070mmx760mm brick egg shaped sewer.*
- *Decommissioned Surface Water Sewer 1 – Decommission 68m long 150mm diameter surface water sewer including 2 No. manholes.*
- *Decommissioned Surface Water Sewer 2 – Decommission 141m long 225mm diameter surface water sewer including 7No. manholes*

For a detailed scope of works, refer to Section 5.0.

Recommended Further Investigations

A review of the Thames Water's GIS database against a buried services survey undertaken by the Developer shows there are discrepancies in the layout of both the foul and surface sewer networks. Further investigations are therefore recommended prior to detailed design to confirm the exact scope of diversion works.

Surface water network

The surface water sewers on Thames Water's GIS database within the development area can be split into two sections (see Appendix B):

1. A single 150mm diameter surface water sewer is shown to serve the northern extent of the Marketfield Road car park. The requirement to divert this sewer needs to be investigated further to understand the catchment area that drains into it.
2. A network of surface water sewers is shown to serve the southern extent of the Marketfield Road car park and properties 18 – 44 Marylebone House, High Street. The requirement to divert this sewer needs to be investigated further to understand the catchment area that drains into it.

The Developer's utility survey shows two additional surface water sewers (see Appendix B):

3. A single 450mm diameter surface water sewer crossing the site between High Street and Marketfield Way (A23). This sewer is not shown on Thames Water's GIS database. Further investigations are required to confirm the ownership and purpose of this surface water sewer.
4. A single surface water sewer that crosses the site from north to south. This sewer is not shown on Thames Water's GIS database. Further investigations are required to confirm the ownership and purpose of this surface water sewer.

Foul water network

The foul water sewers on Thames Water's GIS database within the area of the development can be split into three sections (see plans in Appendix B):

5. Properties 2 – 12 Marylebone House, High Street appear to drain into an existing 225mm diameter foul water sewer located behind the buildings. This sewer drains into a foul water sewer on The Arcade, away from the development site. It is not considered that this foul sewer require diverting and is therefore not included in the scope of works.
6. There is a large diameter foul water sewer that crosses the development site in a south-westerly direction from Marketfield Way (A23) to Marketfield Road. Thames Water records show this varies in diameter from 1070 x 760 egg shaped to 1070mm diameter. This sewer will require diverting.
7. There is a 450mm diameter foul water sewer that passes across the development site between High Street and Marketfield Way (A23). The purpose of this sewer is unclear and appears to act as an overflow between the 375mm diameter sewer on High Street and 1070mm diameter sewer on Marketfield Way (A23). The purpose and requirement to divert this sewer needs to be investigated further.

In addition to the above, the Developer's buried services survey shows that:

8. 10 and 12 Marylebone House, High Street, drain into the 450mm diameter foul sewer. The exact drainage route of 2 – 12 Marylebone House, High Street, should therefore be checked to ensure any required diversion works are identified.

Recommended Surveys

The following surveys are recommended to clarify the scope of works for diversion work prior to detailed design.

- Manhole, CCTV and connectivity surveys of both the foul and surface water sewer network to confirm extent of drainage and catchment areas of the sewers within the development site.
- Connectivity survey to confirm drainage route of 2 – 12 Marylebone House, High Street.
- Hydraulic modelling to understand the purpose and criticality of the 450mm diameter sewer crossing the development site that links the foul sewers on High Street and Marketfield Way (A23).
- Confirmation of ownership of the 450mm diameter surface water sewer crossing the development site that links the foul sewers on High Street and Marketfield Way (A23).
- If identified as a Thames Water asset, hydraulic modelling to understand the purpose and criticality of the 450mm diameter surface water sewer from High Street to Marketfield Way (A23).

4.0 **Constructability considerations**

This section of the report discusses the main project risks associated with constructing diversions proposed in Section 3. Surveys required to progress detailed design of these diversions are also outlined.

Manholes, levels and sewer diameters

The exact cover level and invert levels of the sewers on the upstream and downstream end of the proposed foul water and surface water diversions are unknown. Confirming the exact level of the sewers is required to minimise the risk of clashes with other services and confirm construction methodology.

It is recommended that a minimum of 6 No. foul water manholes and 6 No. surface water manholes are surveyed prior to detailed design. It should be noted that one of the surface water manholes to be surveyed is on a culvert which is not owned by Thames Water.

The manholes surveys should also confirm the sizes of all sewers affected by the diversions. There are currently discrepancies in the diameter of the foul and surface water sewers to the east of the development.

CCTV

The length of all sewers to be diverted or abandoned will require surveying by CCTV to ensure that all lateral connections are identified and investigated. This is to ensure that properties or gullies not being removed as part of the development are diverted or maintained. Approximately 212m of surface water sewers and 155m of foul water sewers will require surveying.

Environmental

The following issues have been identified during a desktop environmental and heritage investigation:

- A number of trees are located on the eastern boundary of the development site. The diversion of the large diameter foul sewer may require the removal of one or more of these trees. A search of the Reigate and Banstead Borough Council website does not indicate these trees are protected by Tree Preservation Orders.
- The Reigate and Banstead Borough Council website confirms that Marylebone House, to the north west of the development site, and the properties on The Arcade, to the north of the development site, are listed buildings.
- The Environment Agency flood risk maps show that the works are located within Flood Risk Zone 3. The risk of flooding in this area is greater than 1 in 100 years.

It is recommended that a detailed environmental screening assessment is undertaken once the scope of diversion works has been confirmed.

Ground conditions and topography

Historical borehole records from the BGS website within 25m of the development site shows that the ground is made from sandy clay to a depth of 1.3m, clayey peat to a depth of 2.7m, very clayey sand to 3.8m depth and dense clayey course sand to a depth of 10m.

Groundwater was encountered at a depth of 6m.

Ground investigation data provided by the Developer confirmed the conditions from the historical borehole records.

Third party services

The Developer has provided results of a buried services survey within the vicinity of the proposed sewer diversions.

A utility search to confirm the nature and location of third party infrastructure outside of the development site has not been undertaken in this review and should be undertaken at the start of detailed design.

The location of existing surface water and foul water sewers on Marketfield Road to the south of the development site may cause construction issues, depending on their exact position, as shown in Figure 3.

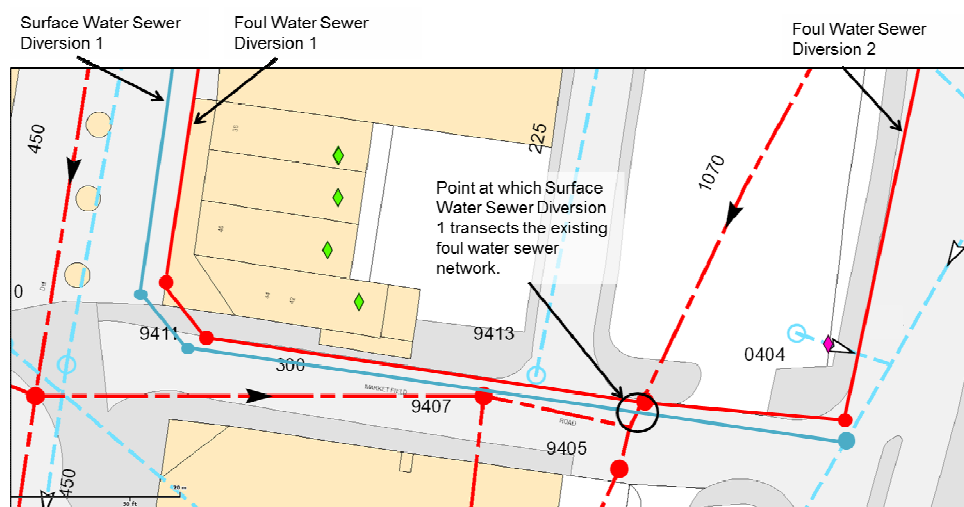


Figure 3. The location where Surface Water Diversion 1 transects the connection sewer of Foul Water Diversion 1 and Foul Water Diversion 2.

Road closures during construction

The diversion of the foul and surface water sewers will affect traffic on the following roads: Marketfield Way (A23), Marketfield Road and High Street. Early liaison with the relevant Highway Officer at Reigate and Banstead Borough Council is recommended to ensure the works can be approved and programmed accordingly.

Marketfield Way (A23)

Marketfield Way (A23) is one of the main roads through Redhill, running north to south. Depending on the location of other utility services, it is considered that a footpath and a single lane closure on Marketfield Way

(A23) will be required in order to construct *Foul Sewer Diversion 2*.

Marketfield Road

Marketfield Road provides the only access route to RedCentral, a large five storey commercial premise. It is considered that Marketfield Road will require a full road closure to construct all three sewer diversions. Liaison with the affected business owners will be required to ensure deliveries can still be made during construction and alternative parking arrangements can be made.

High Street

Approximately 70m of *Foul Sewer Diversion 1* and *Surface Water Diversion 1* will be located within the pedestrianised zone of High Street. The proposed route of the diversion will be outside the entrance to commercial premises to be demolished as part of the proposed development.

Additional information

A significant amount of redevelopment has occurred in Redhill over the last 48 months and there are some unknowns as to the current land uses and road layout. The current road and town centre layout should be confirmed in detailed design.

Over-pumping will be required at a number of locations where the sewer diversions connect into the existing network.

For the purposes of this study, the following over-pumping requirements are proposed:

- One day over-pumping required on the upstream end of Foul Water Diversion Sewer 1 and Surface Water Diversion 1.
- Three days over-pumping to allow for the construction of the new manhole on the upstream end of Foul Water Sewer Diversion 2.
- Three days over-pumping required to allow for the construction of the downstream manhole of Foul Water Sewer Diversion 1 & 2.
- Three days over-pumping required to allow for the construction of the downstream manhole of Surface Water Diversion 1.

The works, including decommissioning, shall be carried out in accordance with the latest version of Thames Water Asset Standards, the Civil Engineering Specification for the Water Industry and Sewers for Adoption.

Asset Planning and the local Field Operations Specialist were contacted about this scheme and no objections were raised. It was noted that flows within the large diameter sewer area very high and that the catchment is susceptible to rainfall.

5.0 Detailed Scope of Works

Capital Works

1. Foul Water Diversion 1

Works required

- Construct 110m of new 450mm diameter concrete foul water sewer to an average depth of 2m.
- Construct 2 No. new 1500mm internal diameter PCC manholes, average depth to invert of 2m.
- Re-bench existing MH TQ2750958 to facilitate proposed diversion.

Location

Approximately 70m of new sewer will be constructed on High Street, a pedestrianised road with block paving. The remainder of the new sewer will be constructed on Marketfield Road, an asphalt road. Road closure of Marketfield Road required.

2. Foul Water Diversion 2

Works required

- Construct 97m of new 1050mm diameter concrete foul water sewer at an average depth of 2.5m.
- Construct 3 No. new 2100mm internal diameter PCC manholes, average depth to invert of 2.5m.
- Re-bench existing MH TQ28500503 to facilitate proposed diversion.

Location

The new sewer will be constructed on Marketfield Way (A23) and Marketfield Road, both asphalt roads. Road closure of Marketfield Road and lane closure of Marketfield Way required.

3. Surface Water Diversion 1

Works required

- Construct 140m long 450mm diameter concrete surface water sewer to 2.5m depth.
- Construct 2 No. 1500mm internal diameter PCC manholes, average depth to invert 2.5m.
- 1 No. 1500mm internal diameter PCC manhole, average depth to invert 2.5m onto existing 450mm diameter surface water sewer on Marketfield Way (A23).
- Re-bench existing MH TQ27509522 to facilitate proposed diversion.

Location

Approximately 70m of new sewer will be constructed on High Street, a pedestrianised road with block paving. The remainder of the new sewer will be constructed on Marketfield Road and Marketfield Way (A23), both

asphalt roads. Road closure of Marketfield Road and lane closure of Marketfield Way required.

4. Connections for Development Site

Works required

To provide connection points into the diverted sewers for the development site, the following works are required*:

- Construct 2 No. 225mm diameter VC foul water connections into the foul water diversions. Approximate depth of 2.5m. Assume 5m length of new sewer will be required from boundary of development site to connection locations.
- Construct 2 No. new 1500mm internal diameter PCC manholes, average depth to invert of 2.5m.
- Construct 2 No. 225mm diameter VC surface water connections into Surface Water Diversion 1. Approximate depth of 2.5m. Assume 5m length of new sewer will be required from boundary of development site to connection locations.
- Construct 2 No. 1200mm diameter PCC manholes, average depth to invert 2.5m.

*the location of the connection points are to be confirmed by the Developer

Decommission

5. Foul Water Sewer 1**

Works required

Decommission 68m long 450mm diameter foul water sewer including 2 No. manholes.

6. Foul Water Sewer 2**

Works required

Decommission 87m long 1070mmx760mm brick egg shaped sewer.

7. Surface Water Sewer 1**

Works required

Decommission 68m long 150mm diameter surface water sewer including 2 No. manholes.

8. Surface Water Sewer 2**

Works required

Decommission 141m long 225mm diameter surface water sewer including 7 No. manholes

**See Figure 2 for location of sewers to be decommissioned

Surveys to confirm scope of works

The following surveys are recommended prior to detailed design to confirm the scope of works:

- Manhole, CCTV and connectivity surveys of both the foul and surface

water sewer network to (a) confirm extent of drainage and catchment areas of the sewers within the development site and (b) confirm invert levels and diameters of all sewers affected by diversion or decommissioning.

- Connectivity survey to confirm drainage route of 2 – 12 Marylebone House, High Street.
- Hydraulic modelling to understand the purpose and criticality of the 450mm diameter sewer crossing the development site that links the foul sewers on High Street and Marketfield Way (A23).
- Confirmation of ownership of the 450mm diameter surface water sewer crossing the development site that links the foul sewers on High Street and Marketfield Way (A23).
- If identified as a Thames Water asset, hydraulic modelling to understand the purpose and criticality of the 450mm diameter surface water sewer from High Street to Marketfield Way (A23).

Surveys and additional actions for detailed design

- Environmental and heritage screening assessment.
- Manhole Surveys of 12 No. Manholes
- CCTV 155m of existing foul water sewers to confirm location of existing lateral connections and identify if all are being decommissioned.
- CCTV 212m of existing surface water sewers to confirm location of existing lateral connections and identify if all are being decommissioned.
- Topographical survey, statutory utility enquiry including GPR and 6No. trial holes along the alignment of the three sewer diversions.
- Traffic management plan for the duration of works at each sewer diversion location.
- One day over-pumping required on the upstream end of Foul Water Diversion Sewer 1 and Surface Water Diversion 1.
- Three days over-pumping required to allow for the construction of the new manhole on the upstream end of Foul Water Sewer Diversion 2.
- Three days over-pumping required to allow for the construction of the downstream manhole of Foul Water Sewer Diversion 1 & 2.
- Three days over-pumping required to allow for the construction of the downstream connection point of Surface Water Diversion 1.

Results of further investigations at the detailed design stage may result in a revision to the scope of works.

6.0	Budget Estimate	Programme	
	Asset	£663,400	Lead-in period 8 weeks
	Contingency	£71,800	Detailed Design 20 weeks
	Compensation	Not Included	Tendering/Approvals 8 weeks
			Construction 16 weeks
	<u>Total Estimated Cost</u>	£735,200	<u>Total</u> 52 weeks

The above estimated cost is provided for indicative purposes only. On completion of the detailed design, a revised cost estimate will be produced and the Developer notified.

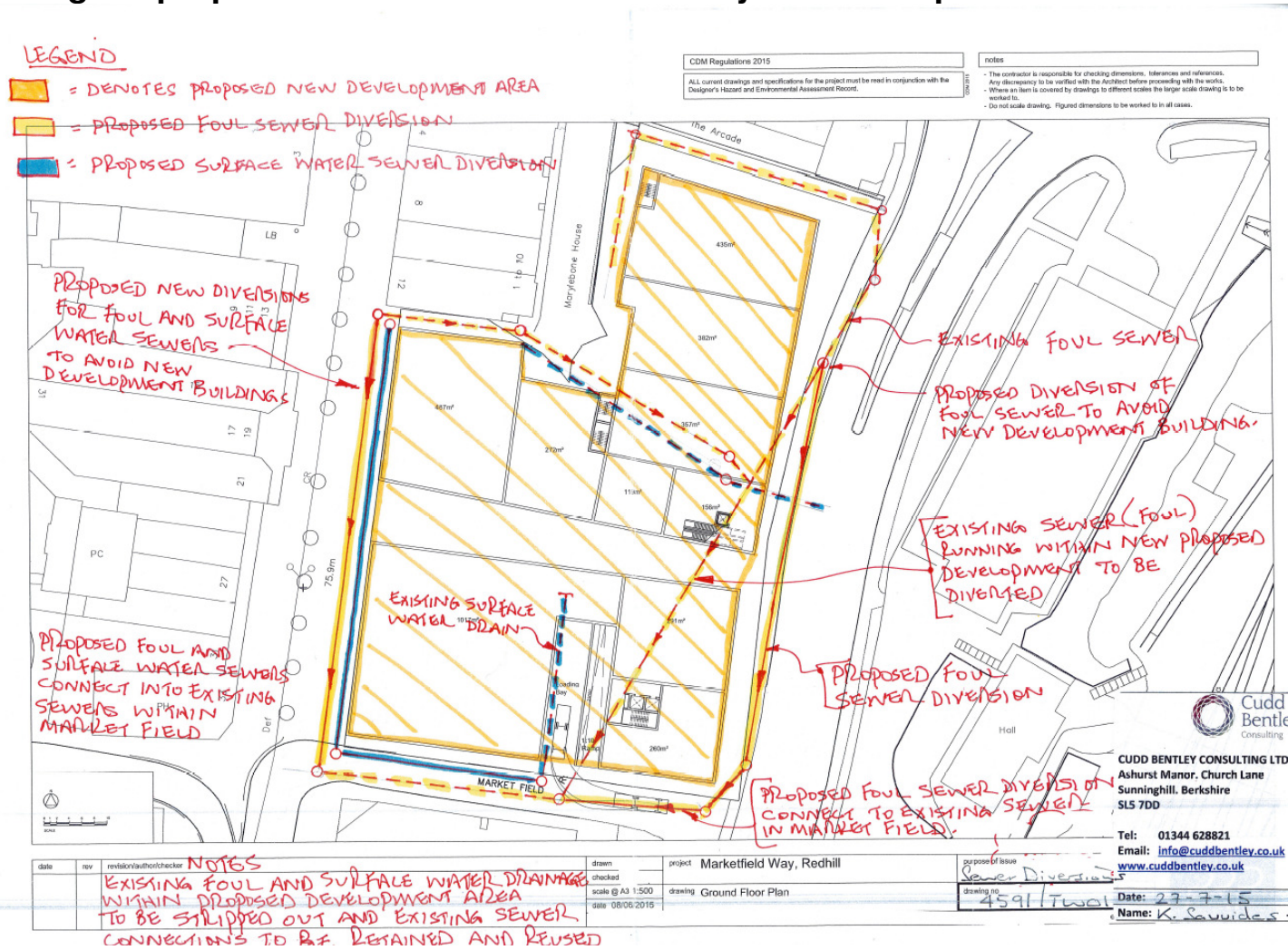
Please note that the above timescales are indicative and are dependent on availability of resources and contractor programme.

7.0 Issues and Risks

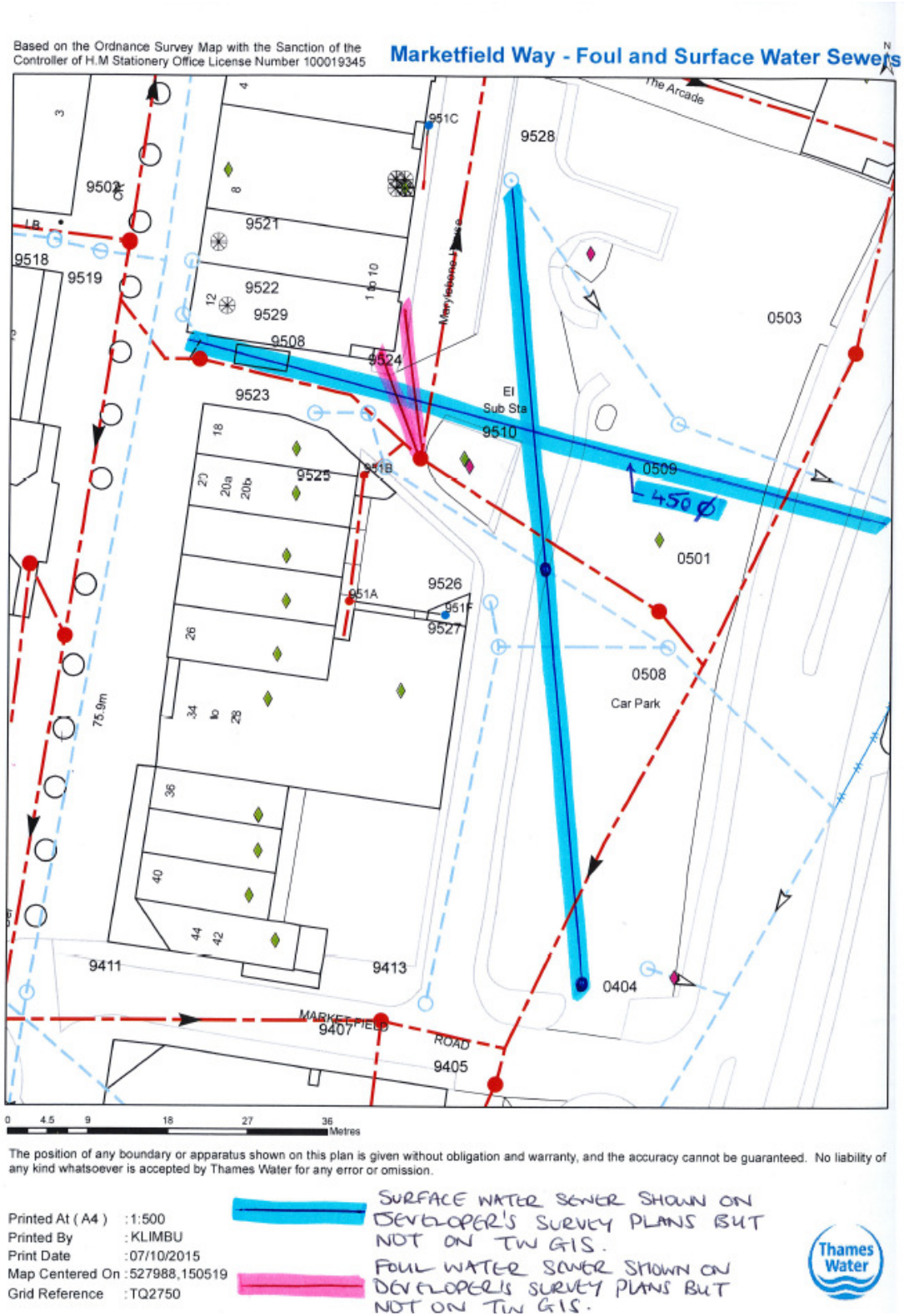
- The ownership of copyright in this report and all supporting information remains with Thames Water Utilities Ltd (TWUL) and may be reproduced and subsequently used for any purpose required by TWUL.
- The above time and cost estimates are indicative and only relate to the construction of the foul water sewer specified above.
- An allowance for minor delay and disruption in dealing with services has been included in the above estimate, however, where major delay, disruption or diversion of services is identified this will have an impact in terms of time and cost on the above estimate. The actual situation with regard to services will need to be confirmed prior to construction on site. Utility surveys beyond the usual maps received from utility companies may be required and this will be confirmed during detailed design.
- No surface water should be discharged into foul water sewers or vice versa.
- No trial holes, soil samples or other site investigations have been carried out for the preparation of this report. Allowances have been included in the above estimate for minor delay and disruption associated with ground water, unforeseen ground conditions, uncharted services and third party delays; however time delays and additional costs may result where risks encountered are excessive.
- No allowance has been included in the above estimate for dealing with contaminated waste.
- It has been assumed that unrestricted access to the site of the works will be available at all times when construction is undertaken. If this is not the case then construction may be delayed and additional costs incurred.
- It is assumed that sufficient space will be available for the working area. Also, it is assumed that there will be sufficient access to the working area so that efficient working can be achieved. Planning permission and a licence may be required if the site compound, including storage for materials and excavated material, cannot be sited on the development site. Costs for arranging this have not been included in the above estimate.
- It is anticipated that all construction works can be undertaken during normal working hours. If construction cannot proceed during normal working hours, this will result in an increase in the above cost estimate.
- Verification of the depth and alignment of the existing sewers and connection points will be required prior to any detailed design being undertaken.
- The situation with regard to existing trees, hedgerows, archaeological interest and protected species has not been assessed in detail. The presence of any significant historical artefacts has not been determined and no allowance has been made for time and cost increases as a result of delays, diversion or other interferences with the works.

- A full road closure of Marketfield Road will be required. Vehicular access to commercial properties, particularly RedCentral will be impacted. It is assumed that alternative access for affected businesses can be arranged in order for the sewer diversions to be constructed.
- It is assumed that no restrictions will be placed by the appropriate highway authorities on working areas.
- It is assumed that the levels of the proposed sewers will not clash with existing sewers of third party services. If there are proposed clashes alternative diversion alignments will have to be investigated in detailed design.
- It is recommended that further investigations are undertaken to confirm the hydraulic importance of the 450mm diameter foul sewer crossing the development site. Findings from the investigation may reduce the scope of diversion works required.
- The 1070x760 foul water sewer is known to have high level of flow during dry weather conditions. Overpumping requirements due to high flows may increase the cost and programme.
- It is recommended that the further investigations are undertaken into the ownership and hydraulic importance of the 450mm diameter surface water sewer crossing the development site. Findings from the investigation may reduce the scope of diversion works required.
- Protecting the local environment is of crucial importance to Thames Water. Any work will be completed in consultation with the appropriate agencies to minimize the environmental impact.
- No allowance has been included for compensation to parties affected by the construction works.

Appendix A – Original proposal for diversions submitted by the Developer



Appendix B – Thames Water GIS plan showing additional sewers identified during the Developer’s buried services survey





Cudd Bentley Consulting
FAO Mr Stephen Bainbridge
Ashurst Manor,
Church Lane,
Sunninghill,
SL5 7DD

Developer Services – Customer Led

Your ref
Our ref X4502/1073/FRS
Name Fez Rafiq-Sharif
Phone 07747644973
E-Mail Fez.rafiqsharif@
 thameswater.co.uk

16th October 2015

Dear Mr Bainbridge,

**FOUL AND SURFACE WATER SEWER DIVERSIONS - SECTIONS 185
WATER INDUSTRY ACT 1991**

Site Address: Marketfield Way Redhill, Surrey, RH1 1RP

Further to your Application no. **X4502/1073** to have the foul and surface water sewers at the above location diverted, please find attached a budget estimate summary based on your diversion proposals.

The project estimate of **£735,200.00 + VAT (as applicable)** has been produced for indicative purposes only, in respect to the Section 185 (Water Industry Act 1991) diversion application, and has been constructed using standard budget estimate rates in the absence of detailed site, utility and design information.

This budget estimate is to enable you to decide whether you wish Thames Water to proceed with the diversion by commencing full design. Alternatively we may consider an option which allows the developer to undertake the works under a diversion agreement. This agreement will be dependent upon the criticality of the asset in question, third party implications and the requirement for the provision of a surety/bond/cash deposit equivalent to the full estimated value of the works quoted above. Further guidance relating to this option, inclusive of our costs is available on request.

In relation to Thames Water delivering the works, the final contribution payable will be based upon projected costs immediately prior to Thames Water awarding the construction contract, and is therefore likely to differ from the figures given above.

You have previously certified that you have read and understood the Guidance Notes provided with the application form, but your particular attention is drawn to the need for:-

- timely payments
- details of CDM arrangements and appointments made by the “Client”

Thames Water Utilities Limited

Clearwater Court
1st Floor West
Vastern Road
Reading
Berkshire. RG1 8DB

www.thameswateruk.co.uk

Registered in England and Wales
No. 2366661, Registered office
Clearwater Court, Vastern Road
Reading, Berkshire. RG1 8DB

The estimated programme depending upon prompt payments, agreed land entry etc is:-

- Lead in time upon receipt of interim payment: - 8 weeks
- Detailed design period: - 20 weeks
- Tendering and Approvals: - 8 weeks
- Construction period after receipt of undertaking and final payment: - 16 weeks
- Total project duration: 52 weeks.**

When responding, please would you let us know your anticipated program indicating when you would like Thames Water to commence works on site.

This will allow us to program in your works accordingly.

If you wish to proceed, an interim payment of **£73,520.00 plus VAT (as applicable)** will be required to cover our costs in progressing the project through to preconstruction stage when the final contribution/s will be recalculated.

Should you wish to proceed via the S185 agreement then we will require a deposit payment of £20,000.00 plus VAT (as applicable) as a contribution towards our cost.

Cheques should to be made payable to Thames Water Utilities Ltd and forwarded to the above address for my attention **quoting the Application no. X4502/1073** and include a signed copy of our customer agreement form.

Yours sincerely

F. Rafiq-Sharif

Fez Rafiq-Sharif
Projects Engineer

Encl.

X4502-1073 - Marketfield Way Redhill, Surrey, RH1 1RP - Budget Estimate

X4502-1073 - Marketfield Way Redhill, Surrey, RH1 1RP - Report

X4502-1073 - Marketfield Way Redhill, Surrey, RH1 1RP - Standard Customer Agreement (to accompany payments)



**Cudd Bentley Consulting
FAO Mr Stephen Bainbridge**

Ashurst Manor,
Church Lane,
Sunninghill,
SL5 7DD

Developer Services – Customer Led

Your ref
Our ref X4502/1073/FRS
Name Fez Rafiq-Sharif
Phone 07747644973
E-Mail Fez.rafiqsharif@
 thameswater.co.uk

16th October 2015

Dear Mr Bainbridge,

**FOUL AND SURFACE WATER SEWER DIVERSIONS - SECTIONS 185
WATER INDUSTRY ACT 1991**

Site Address: Marketfield Way Redhill, Surrey, RH1 1RP

Further to your Application no. **X4502/1073** to have the foul and surface water sewers at the above location diverted, please find attached a budget estimate summary based on your diversion proposals.

The project estimate of **£735,200.00 + VAT (as applicable)** has been produced for indicative purposes only, in respect to the Section 185 (Water Industry Act 1991) diversion application, and has been constructed using standard budget estimate rates in the absence of detailed site, utility and design information.

This budget estimate is to enable you to decide whether you wish Thames Water to proceed with the diversion by commencing full design. Alternatively we may consider an option which allows the developer to undertake the works under a diversion agreement. This agreement will be dependent upon the criticality of the asset in question, third party implications and the requirement for the provision of a surety/bond/cash deposit equivalent to the full estimated value of the works quoted above. Further guidance relating to this option, inclusive of our costs is available on request.

In relation to Thames Water delivering the works, the final contribution payable will be based upon projected costs immediately prior to Thames Water awarding the construction contract, and is therefore likely to differ from the figures given above.

You have previously certified that you have read and understood the Guidance Notes provided with the application form, but your particular attention is drawn to the need for:-

- timely payments
- details of CDM arrangements and appointments made by the “Client”

Thames Water Utilities Limited

Clearwater Court
1st Floor West
Vastern Road
Reading
Berkshire. RG1 8DB

www.thameswateruk.co.uk

Registered in England and Wales
No. 2366661, Registered office
Clearwater Court, Vastern Road
Reading, Berkshire. RG1 8DB

The estimated programme depending upon prompt payments, agreed land entry etc is:-

- Lead in time upon receipt of interim payment: - 8 weeks
- Detailed design period: - 20 weeks
- Tendering and Approvals: - 8 weeks
- Construction period after receipt of undertaking and final payment: - 16 weeks
- Total project duration: 52 weeks.**

When responding, please would you let us know your anticipated program indicating when you would like Thames Water to commence works on site.

This will allow us to program in your works accordingly.

If you wish to proceed, an interim payment of **£73,520.00 plus VAT (as applicable)** will be required to cover our costs in progressing the project through to preconstruction stage when the final contribution/s will be recalculated.

Should you wish to proceed via the S185 agreement then we will require a deposit payment of £20,000.00 plus VAT (as applicable) as a contribution towards our cost.

Cheques should to be made payable to Thames Water Utilities Ltd and forwarded to the above address for my attention **quoting the Application no. X4502/1073** and include a signed copy of our customer agreement form.

Yours sincerely

F. Rafiq-Sharif

Fez Rafiq-Sharif
Projects Engineer

Encl.

X4502-1073 - Marketfield Way Redhill, Surrey, RH1 1RP - Budget Estimate

X4502-1073 - Marketfield Way Redhill, Surrey, RH1 1RP - Report

X4502-1073 - Marketfield Way Redhill, Surrey, RH1 1RP - Standard Customer Agreement (to accompany payments)

4.0 Instalcom

C3 ESTIMATE

NRSWA 1991: A CODE OF PRACTICE

“MEASURES NECESSARY WHERE APPARATUS IS AFFECTED BY MAJOR WORKS (DIVERSIONARY WORKS)”

Project No. **L3.15/0723/gt.dkt**
(to be quoted on all correspondence)

Undertaker Ref: **Marketfield Road, Redhill**
(to be quoted on all correspondence)

Date of Estimate: **23rd July 2015**

Undertaker: **Level 3**

Scheme: **Marketfield Road, Redhill, Surrey, RH1 1RH**

Diversion Ref/Description: **Construct a new duct route in the High Street and install new cable section. This is to divert the network out of Marketfield Road. The High street is a pedestrianised Area and works would need to be done out of hours**

Anticipated duration: **TBC**

Base Date: **23rd July 2015**

Validity Period: **3 Months**

Method of Dealing with Inflation: Estimate to be reviewed on completion by **Level 3** – surplus sums credited to **client** – additional sums invoiced to **client**.

Estimate Summary:

Contract Labour	£	
Plant Costs	£	
Material Costs/Direct Labour	£	40,332.90
Other Costs (GNOC & Overhead)	£	22,239.87
Estimated Project Costs:	£	62,572.77

Less deductions for:

Deferment of Renewal	£	
Betterment	£	
Materials Recovered	£	
Local Authority discount at 18%	£	
Total Deductions:	£	

Total Estimated Cost of Works exclusive of VAT **£ 62,572.77**

PLEASE NOTE: A standard lead time of between 12 and 16 weeks may apply from the date payment, or part payment, is received.



5.0 BT

Cudd Bentley Consulting

Ashurst Manor
Church Lane
Sunningdale
SL7 - 5DD

FAO: Andy Cole

22nd Sep. 2015

Our Ref: 230788/RH/IG/DCE

Your Ref: None

Dear Sir,

**Marketfield Way Redevelopment
Redhill Town Centre
NR&SWA Section 83**

Thank you for your Detailed Scheme dated 10th August 2015 and copy of Drawing Number AA3983_1.3-00.

I am returning one copy of your drawing marked up showing approximate positions of Openreach existing apparatus and details of our proposed alterations.

Attached to this letter is a Detailed Specification and cost estimate of the works required.

This cost estimate contains elements that reflect anticipated cost levels rather than the actual costs and as with all estimates these cost elements may change. Openreach customer requirements often mean that our network is enhanced and expanded. Therefore, the estimate provided is an indication of the final costs, based on the network existing at the date of this letter. In the event of your scheme being delayed for any significant period, it may be prudent to request a revised detailed estimate before committing to the scheme.

Before any Openreach work, or work affecting Openreach apparatus can commence on site, we require your formal agreement to the Specification of Works and provisional programme timescales which needs to take into account the requirement for a three month notice period to the relevant Highway Authority for programmed Openreach works in the public highway. You should signify this by returning the Specification with the agreement section signed, together with your official order. If you also enclose a cheque for your payment in advance of the estimated cost, we will be able to progress the works while the invoice is prepared and sent to you.

Openreach
Redhill GSC (PP10)
22 Clarendon Road
Redhill
Surrey
RH1 – 1QY

tel 01737 786013
fax 01737 779190
mob 07743843382
email ivan.guy@openreach.co.uk

British telecommunications PLC
Registered Office:
81 New Gate Street, London, EC1A – 7AJ
Registered in England and Wales no. 1800000
www.openreach.co.uk

openreach

a BT Group business



We offer a free site visit service to locate and mark the position of Openreach apparatus within your work area. To arrange a site visit from a Plant Protection Officer call 0800 917 3993 Fax: 01332 578650 Email: dbyd@openreach.co.uk

If you wish to discuss your proposals further, or would like to arrange a meeting please do not hesitate in contacting me. In addition could you please nominate a representative, who once work is in progress, would be able to authorise any changes required.

Yours faithfully

Ivan Guy

Ivan Guy
Alteration Project Engineer

Openreach
Redhill GSC (PP10)
22 Clarendon Road
Redhill
Surrey
RH1 – 1QY

tel 01737 786013
fax 01737 779190
mob 07743843382
email ivan.guy@openreach.co.uk

British telecommunications PLC
Registered Office:
81 New Gate Street, London, EC1A – 7AJ
Registered in England and Wales no. 1800000
www.openreach.co.uk

Network Alterations Diversionary Works Payment Details

Please forward your order (free from contractual conditions) and the estimated sum of **£29,137.32 (including VAT)**.

There are two ways to pay:

1. By Cheque

- This is our preferred method of payment
- Please make cheques payable to **British Telecommunications Plc**
- Send your cheque with your order / letter of authorisation to proceed with

the

works to the Project Engineer shown below
(order not to contain contractual conditions)

- Write your cheque number here: _____
- Write the cheque amount here: £ _____

2. Using Bank Automated Clearing Services (BACS)

When your order / letter of authorisation to proceed with the works has been received an invoice for payment will be returned with the necessary BACS payment details.

Please quote the Openreach reference number / invoice number otherwise payment may not be allocated to your job.

N.B. For either method of payment please complete this form and return with your order / letter of authorisation to the Project Engineer, address below. Please remember, however you pay, the works will not commence until this form and your payment have been received.

Title/Location of Work	Marketfield Way Redevelopment, Redhill Town Centre
Project Engineer Name	Ivan Guy
Postal Address	Redhill GSC, 22 Clarendon Road, Redhill, Surrey, RH1 - 1QY
Openreach Reference	230788/RH/IG/DCE
Company Name	
Client Contact	
Client Tel	

For advice or assistance in completing this form please call kath Clarke 0131 345 0099

Our VAT number is 245719348

Openreach
Redhill GSC (PP10)
22 Clarendon Road
Redhill
Surrey
RH1 – 1QY

tel 01737 786013
fax 01737 779190
mob 07743843382
email ivan.guy@openreach.co.uk

British telecommunications PLC
Registered Office:
81 New Gate Street, London, EC1A – 7AJ
Registered in England and Wales no. 1800000
www.openreach.co.uk

DETAILED CLIENT ESTIMATE (PRO-FORMA) FORM: P10 APPENDIX B

Scheme Title: Marketfield Way Redevelopment
Client Name: Andy Cole
Client Reference: None
Location of Work: Redhill Town Centre
Openreach Ref: 230788/RH/IG/DCE
Date: 22nd September 2015
Issue: 1

	CREDIT	DEBIT
Direct Labour Costs		£13,161.42
Contract Costs		£10,156.32
Material Costs		£963.36
Other Costs		£0.00
Total Costs or Expenses		£24,281.10
TOTAL ESTIMATED COST (ex. VAT)		£24,281.10
VAT CONTENT		£4,856.22
TOTAL ESTIMATED COST (inc. VAT)		£29,137.32

This estimate is produced in accordance with the following:

1. New Roads and Street Works Act 1991.
2. Code of Practice: Measures Necessary where Apparatus is Affected by Major Works (Diversionary Works).

Openreach
 Redhill GSC (PP10)
 22 Clarendon Road
 Redhill
 Surrey
 RH1 – 1QY

tel 01737 786013
fax 01737 779190
mob 07743843382
email ivan.guy@openreach.co.uk

British telecommunications PLC
 Registered Office:
 81 New Gate Street, London, EC1A – 7AJ
 Registered in England and Wales no. 1800000
www.openreach.co.uk

Legend

CAUTION AREA

BT.CAUTION_AREA

EQUIPMENT

FIBRE, TCODE

COPPER, CABINET

COPPER, DP

DUCT

AERIAL

TUNNEL

DUCT

PROPOSED

AERIAL

DUCT

STRUCTURE

YCODE

CABINET SHELL

SPLIT COUPLING

POLE

KIOSKS

MANHOLE

JOINTBOX

CHANGE OF STATE

DUCT TEE

PROPOSED

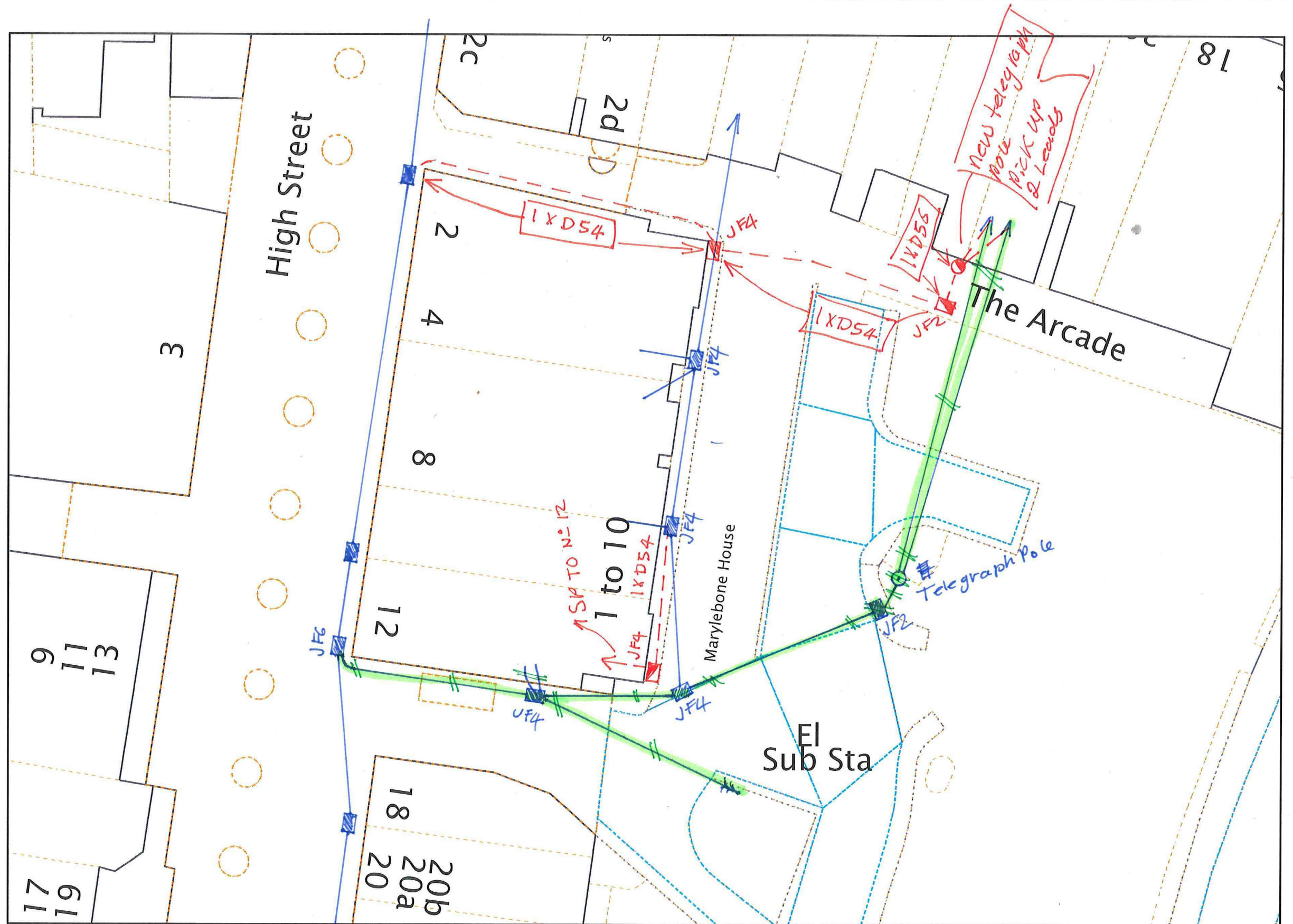
MANHOLE

JOINTBOX

DUCT TEE

Other proposed plant is shown using dashed lines.

BT symbols not listed above may be disregarded.



Reproduced by permission of Ordnance Survey on behalf of HMSO. © Crown copyright and database right 2013. All rights reserved. Ordnance Survey Licence number 100028040

IMPORTANT WARNING:
Information regarding the location of BT apparatus is given for your assistance and is intended for general guidance only. No guarantee is given of its accuracy. It should not be relied upon in the event of excavations or other works being made near to BT apparatus, which may exist at various depths and may deviate from the marked route.

Existing BT plant may not be recorded.
Information valid at time of preparation.
FOR FREE ON-SITE LOCATION & MARKING SERVICE
CALL THE EXCHANGE OPERATOR AND ASK FOR :-
FREEPHONE 0800 9173993
FAX 0208 3284050
NATIONAL NEWSITES 0800 616866

*DUCT WORKS
REQ*



PLANT INFORMATION REPLY

230788/RH/IG

Marketfield Way - Redhill

Appendix A / DUCT

openreach
a BT Group business



Legend

CAUTION AREA

BT.CAUTION_AREA

EQUIPMENT

FIBRE, TCODE

COPPER, CABINET

COPPER, DP

DUCT

AERIAL

TUNNEL

DUCT

PROPOSED

AERIAL

DUCT

STRUCTURE

YCODE

CABINET SHELL

SPLIT COUPLING

POLE

KIOSKS

MANHOLE

JOINTBOX

CHANGE OF STATE

DUCT TEE

PROPOSED

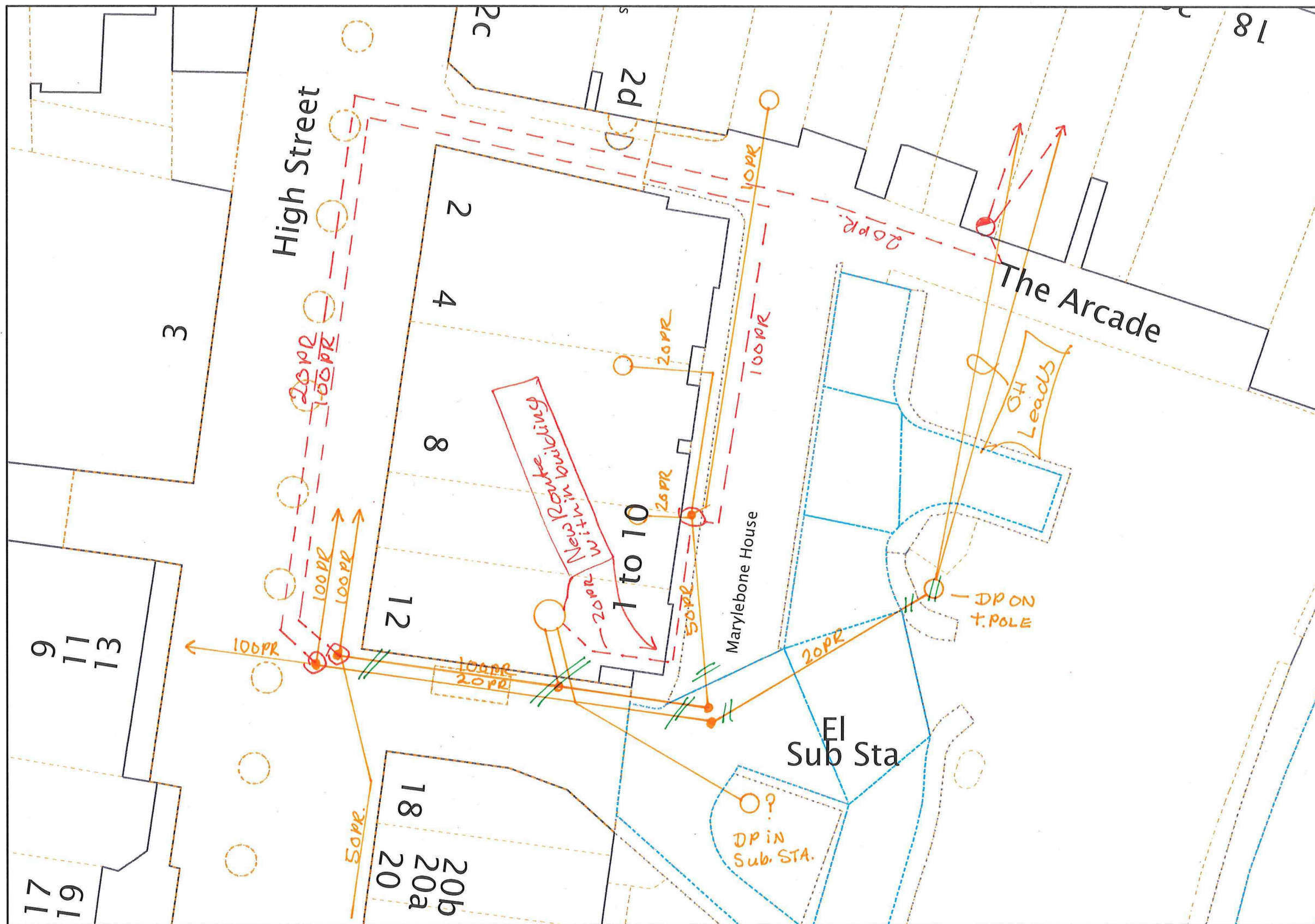
MANHOLE

JOINTBOX

DUCT TEE

Other proposed plant is shown using dashed lines.

BT symbols not listed above may be disregarded.



Reproduced by permission of Ordnance Survey on behalf of HMSO. © Crown copyright and database right 2013. All rights reserved. Ordnance Survey Licence number 100028040

IMPORTANT WARNING:
Information regarding the location of BT apparatus is given for your assistance and is intended for general guidance only. No guarantee is given of its accuracy. It should not be relied upon in the event of excavations or other works being made near to BT apparatus, which may exist at various depths and may deviate from the marked route.

Existing BT plant may not be recorded.
Information valid at time of preparation.
FOR FREE ON-SITE LOCATION & MARKING SERVICE
CALL THE EXCHANGE OPERATOR AND ASK FOR :-
FREEPHONE 0800 9173993
FAX 0208 3284050
NATIONAL NEWSITES 0800 616866

**CABLE
DIVERTS**



PLANT INFORMATION REPLY

230788/RH/IG

Marketfield Way - Redhill

Appendix A / CABLE

openreach
a BT Group business



6.0 Gas

Our Ref: P12523SR1

Cudd Bentley Consulting
Ashurst Manor
Church Lane
Sunninghill
Ascot
Berkshire
SL5 7DD

FAO: Omer Khorasani

8th September 2015

Dear Omer,

RE: Installation of Natural Gas Infrastructure Meter Quotation
Marketfield Road, High Street and Marketfield Way, Reigate, Surrey, RH1 1RH

Further to receipt of your request dated 14/07/2015, we are pleased to present our Quotation for the installation and provision of a natural gas infrastructure and primary meters to the above development.

Outlined below is Squire Energy Limited' (SEL) Quotation for the Works. This Quotation is offered as capable of acceptance and is valid for a period of 40 calendar days from the date shown.

We have prepared this Quotation based upon the information that has been supplied to us. In addition to the general assumptions and exclusions we have made we may have had to make a number of project specific assumptions and exclusions, which are detailed below.

The Works

This Quotation is to provide the Works (and services) as detailed below:

- 1) Connection to the existing 400mm polyethylene (PE) low pressure (LP) gas main in Market Field Road during normal working hours - Units 9 to 11 and Residential.
- 2) Connection to the existing 400 ductile iron (DI) low pressure (LP) gas main in High Street during normal working hours – Units 1 to 8.
- 3) Construction of a new < appropriately sized > PE LP gas supply from both connection points across the highway to the site / boundary.
- 4) Construction / continuation of a new appropriately sized PE LP gas supply extension from the site boundaries / curtilage through the development (in an open [suitable and pre-prepared] excavation – works by the customer) to a point adjacent to the proposed ground floor gas meter rooms.
- 5) Entry into the **ground floor gas meter rooms** via a suitable above ground service entries terminating immediately upon entry with blanked emergency control valves (ECV)s sited at low level.
- 6) Supply, install and commission 1 x U100 and 1 x U160 type primary (credit) gas meters in accordance with the Institution of Gas Engineers and Managers (IGEM) Standard IGE/GM/6 Ed. 2 – Non Domestic Meter Installations – Standard Designs and IGEM IGE/GM/8 - Non Domestic Meter Installations - Flow Rates Exceeding 6 scmh and Inlet Pressure Not Exceeding 38 bar. Leave meter(s) / module with blanked / capped and locked-off outlet connection(s).

- 7) Supply and installation of 2 x gas meter pulse convertor ('chatterbox') including input cabling and associated electrical wiring – in accordance with BS7671:2001 – Requirements for Electrical Installations, The Institution of Electrical Engineers (IEE) Wiring Regulations 17th Edition (BS 7671:2008), IGEM/GM/7A – Electrical Connections for Gas Metering Equipment and IGEM/GM/7B – Hazardous Area Classification for Gas Metering Equipment – to facilitate connection by end-user of BEMS/EMS to primary gas meter, if required.
 - 8) Excavation and permanent reinstatement of excavation in the public highway, only.
 - 9) All materials deemed necessary for the above upstream gas pipework, against the current scope of Works.
 - 10) Testing, purging and commissioning of all upstream LP pipework and meter.
 - 11) Project supervision and management.
-

Note 1:

The supply and installation of gas meter/s is only possible upon receipt of written confirmation from the customer giving the relevant details (contact name, address, and agreement ref) of the gas supply contract in place with a gas supplier / shipper.

Note 2:

It is assumed from the request / information received that no suitable external, boundary meter location is available. Wherever a suitable external location is available, internal gas service terminations or meter locations within a building or at internal / basement levels shall be deemed not acceptable by the GT and will not be approved for connection to their system – this may not be in accordance with the requirements of the building designers / developer / architect.

Note 3:

A gas service pipe (as defined in the Gas Safety [Installation and Use] Regulations 1998, and covered within the Gas Act 1995 and Pipelines Safety Regulations 1996) must be designed and installed in accordance with (these) legislation, in compliance to the requirements specified by the Gas Transporter and in accordance with The Institution of Gas Engineers and Managers (IGEM) publications IGEM IGE/TD/4 Ed. 4 - Gas Services, IGEM IGE/GM/6 Ed. 2 – Spec. for LP diaphragm and RPD meter installations..., IGEM IGE/GM/8 parts 1-5 – Non-domestic meter installations... A gas service pipe must be perpendicular to the gas main, laid at the appropriate depth (as specified by the Gas Transporter and to IGE/TD/4 Ed. 2), kept as short as possible, not terminated under a stairway or in any other part of the premises, where the stairway or that other part of the premises forms the sole means of escape in case of fire and fitted with a (readily accessible) emergency control valve at the point where the service pipe enters the building, housing or kiosk. Only unless special circumstances exist, as shall be determined by a site visit (NB: Not by building aesthetics or architects or designers requirements) will consideration be given to terminating a gas service pipe internally. Ideally a gas service pipe shall be located external to the building, kept as close as possible to the curtilage of the property, located externally within the site boundary or located on the external wall of the building. A gas service pipe must follow a safe and accessible (for routine maintenance and if emergency repair is required) route and must terminate in a safe and suitable location - ideally in a suitably designed and constructed (e.g. purpose-built GRP gas meter kiosk) and designated gas meter housing which shall be naturally ventilated (direct to the outside atmosphere) and located at the site boundary.

Only in special circumstances will an internal gas service termination (and primary gas meter location) be considered and only if no other suitable external location exists. All requests for internal gas service (and primary gas meter) locations, terminations etc must be supported by mitigating evidence and this (request and evidence) shall be reviewed to ensure compliance with legislation, gas industry guidelines and shall be subject to the prior approval by the Gas Transporter (only).

Note 4:

It is assumed that the proposed gas meter location is suitable, correctly designed, sized, permanently accessible, permanently and adequately and naturally (only permissible method) ventilated direct to the outside atmosphere equally distributed at high and low levels and that it complies with all requisite IGEM recommendations, MAM (Meter Asset Manager) and GT requirements.

Note 5:

It is assumed that no obstruction, scaffolding or scaffold supports / stanchions are on or above the proposed area of the Works. No works may be considered / or will be carried out by SEL below or in the vicinity of scaffolding. All scaffolding must be removed in its entirety over / above / within the area of the Works prior to the commencement of any works by SEL. Temporarily bridging or closing off scaffold is not acceptable.

Note 6:

All drillings, 'cut outs', openings, provision or fitting sleeves or fire-stopping or sealing between pipe / sleeve / entry, or any / all other works within or adjacent to site curtilage / building(s) / unit(s), meter housing(s) / bases / kiosks, etc, as required in order to facilitate gas main(s) / service(s) entry, termination(s) and / or supply pipework or downstream (outlet) pipework and route are excluded and are the responsibility of the customer.

Note 7:

All groundworks, civil works and builders' works within the site curtilage are the responsibility of the customer.

Note 8:

It is assumed that the customer will provide and maintain a safe (e.g. accessible, secure, adequately lit, free of asbestos or other contaminants, pests etc.) area for the Works within the site curtilage and that no obstruction, scaffolding or scaffold supports / stanchions are on or above the proposed area of the Works. No works may be considered / or will be carried out by SEL in unsafe or potentially unsafe locations or conditions, below or in the vicinity of scaffolding. All scaffolding must be removed in its entirety over / above / within the area of the Works prior to the commencement of any works by SEL. Temporarily bridging or closing off scaffold is not acceptable.

Project Price

- **£ 58,700.00 + VAT**

Note 9:

'Project Price' is offered as a fixed price lump sum and is not subject to 'retention' or 'discount'.

Note 10:

Project Price above, is based upon a single visit and continuous working during normal working hours. If works are to be phased or staged or if unplanned / unscheduled interruptions occur there will be an additional charge levied of £850.00 + VAT for each mobilisation and de-mobilisation event. Should working outside of normal working hours and / or if additional or repeat applications for consents or road closures or licences or traffic management plans to the Local Authority / TfL etc are required (if stage / phased working applicable) or for additional lane rental charges the this / these will be subject to prior consent, Variation to Order and prior receipt of payment.

Note 11:

Project Price above, is based upon the assumption that no working outside of normal working weekday hours will be required, that no additional traffic management is required, that no full lane or road closures will be required or lane rental charges will be imposed by the Highways Authority. Should these be imposed (not known until post-acceptance and commencement of planning process), then this / these will be subject to prior consent, Variation to Order and prior receipt and clearance of full payment.

Terms of Payment

- Full payment with order + VAT.

Payments should be made (gross) to Squire Energy Ltd (by 'crossed' company cheque).

By prior agreement only, SEL can accept payment/s via BACS transfer method.

Note 12:

Following the introduction by HMR&C on 06/04/2007 of a new CIS scheme, there are no longer CIS certificates or monthly vouchers. SEL Unique Tax Reference (UTR) No.: 6987014110. SEL is registered with HMR&C to receive gross payments.

Terms and Conditions

This Quotation has been prepared, is offered and is based solely upon SEL General Terms and Conditions of Contract – which is available upon request, and to the exclusion of all other terms and conditions. In addition to these terms, any notes, statements, assumptions and exclusions as detailed in the Quotation will apply.

This Quotation has been prepared and is offered as valid for the period as stated and on the assumption that all Works will commence within six (6) months of receipt of acceptance and clearance of payment (and receipt of all notices, consents and approvals, as may be required) and that all Works will be finally completed within six (6) months of commencement.

Easement

Please refer to the attached `Important Customer Information – Easements and Consents`.

In this case we have been advised / assumed that an easement will not be required.

If an easement is required, SEL's role is to act as facilitator only, between the Gas Transporter (GT) and the land owner. All correspondence, agreements and engrossment will be negotiated by the solicitors and / or easement agents acting on behalf of these parties. Any `project prices` or costs that may be stated in this Quotation in regards to easements are given as an `Estimate` only and may be subject to changes to reflect the works undertaken by third parties. Any Estimated costs which may be stated do not include for payments to third party land owners.

To accept this Quotation, please complete the `Acceptance of Quotation` attached and together with your payment and return it to the office above.

Should you require any further assistance, or wish to discuss any part of this Quotation then please do not hesitate to contact us.

Yours sincerely,



Stephen Rose
Project Estimator
For and On behalf of Squire Energy Limited

Enc: Project Specific Assumptions
Project Specific Exclusions
Acceptance of Quotation
Important Customer Information - Easements and Consents
Important Customer Information - Traffic Management Act (TMA) 2004
Important Customer Information - if E.ON is your Intended Gas Supplier
Disclaimer

Project Specific Assumptions

Should any of the project specific or general assumptions or exclusions prove to be incorrect, in any way unclear or in conflict with you or your clients' requirements you should clarify this to us in writing prior to the commencement of the Works and Services.

- All Works in accordance with / offered / based upon SEL General Terms and Conditions of Contract
- All Works are to be undertaken in a clear and safe area – provided and maintained, if off-site by SEL and, provided and maintained, if on-site by the customer.
- No obstruction, scaffolding or scaffold supports / stanchions are on or above the proposed area of the Works. No works may be considered / or will be carried out below or in the vicinity of scaffolding. All scaffolding is to be removed in its entirety over / above / within the area of the Works prior to the commencement of any works by SEL. Temporarily bridging or closing off scaffold is not acceptable.
- The initial, maximum peak hour and annual gas loads will not exceed those stated:

Site / Location / Building / Unit / Supply Name	Peak Instantaneous Demand (PID / Peak Hourly) kW (meter)	Annual Offtake Quantity (AOQ / Estimated) kWh
Units 1 to 8	1,050 kW (U100)	TBA / kWh
Units 9 to 11 and Residential	1,400 kW (U160)	TBA / kWh
TOTAL	2,450 kW	TBA / kWh

- Assumed 'conventional' / domestic utilisation plant operating at 'standard' 21 mbarg operating pressure.
- From the request / information received from the customer no suitable external, boundary meter location is available. Wherever a suitable external location is available, internal gas service terminations or meter locations within a building at any level shall be deemed not acceptable by the GT and will not be approved for connection to their system – this may not be in accordance with the requirements of the building designers / developer / architect.
- SEL (as facilitator) and the Gas Transporter (GT – owner / operator of existing and new gas plant [mains / services]) assume that the customer (and / or landowner) will arrange, at no cost to SEL or the GT, to enter into the relevant easement agreement (between the GT and the landowner) using the GT's standard documentation without amendment – if required. Any additional payments to third parties will be met in full by the customer / land owner.
- Any / all groundworks, civils works and builders' works required within the site curtilage are to be carried out by the customer prior to start of the Works by SEL and any backfill or reinstatement (within site curtilage) will also be carried out (by the customer) immediately following completion of the Works by SEL (if required).
- Any / all works in regards to the procurement and arrangement of the gas supply contract (between customer / end-user and gas shipper / gas supplier) is the responsibility of the customer.
- Any / all works in regards to the supply / installation / procurement of downstream / outlet pipework and connections to / from any gas meter(s) is the responsibility of the customer – unless stated to the contrary in the Quotation / Estimate.
- The customer will provide / design / construct a suitable, suitably sized, accessible and adequately (naturally) ventilated (minimum 3% of floor area of meter room, equally distributed at high and low level,

direct to the outside atmosphere) meter room / housing / kiosk prior to start of the Works by SEL (if required). Where a standard GRP gas meter kiosk unit is proposed adequate ventilation is included.

- No road and / or lane closures will be required (by the Local Authority) and / or working outside of normal working weekday hours to facilitate the Works by SEL. If road / lane closures or working outside of normal working hours ('Normal Working Hours' are deemed: Monday to Friday inclusive – 0830 to 1630 hours, excluding evenings, weekends, public and bank holidays) are required (by the Local Authority / or the Customer / or the Police / or traffic management companies [Transport for London – TfL]) additional costs and extended lead times will apply.
- Unless stated in the quotation, service terminations by SEL shall be to industry standard, above ground and above DPC, shall rise up external to the façade, shall enter the building, unit, meter room, housing or kiosk at low (defined as <1.0m) level, shall end ('terminate') immediately (defined as <1.0m within the building [subject to incoming pipe dia. - as stated in NGG T/SP/SER/8]) upon entry in to / within the building or unit or meter room or housing or kiosk at low (defined as <1.0m measured from floor) level with a proprietary ECV and shall be designed, procured and installed safely, correctly, to U.K. legislation, standard U.K. gas industry working practices, the requirements of the Gas Transporter and in accordance with the recommendations published by The Institution of Gas Engineers and Managers and in accordance with those dimensions as stated in NGG publication 'Specification for Service Terminations T/SP/SER/8', dated May 2006, for horizontal inlet connections, i.e. c. 440mm – 880mm of pipework within the building, including ECV for upstream pipework (<50mm – 150mm), which shall be determined by the dia. of the incoming pipe. Incoming pipes of dia. >150mm or requiring additional external or internal pipework will be considered 'bespoke' non-standard and shall be treated accordingly.
- Any required service entry / entries, drillings, openings, supply, provision and / or fitting of sleeves, sealing, fire-stopping or weatherproofing of or for the proposed pipework installation and or route through any walls or cavities are the responsibility of the customer. 'Puddle flanges' or Link-Seals etc. are not proposed, required or included within the Works.
- Any required service entry / entries, drillings, openings, sleeves, sealing, fire-stopping or weatherproofing of or for the proposed pipework installation and or route through any walls or cavities are the responsibility of the customer. 'Puddle flanges' or Link-Seals etc. are not proposed, required or included within the Works.
- The provision of the metering installation is subject to a valid gas supply agreement being in place with a Gas Shipper / Gas Supplier within 14 calendar days of acceptance of this Quotation / Estimate, and such confirmations of contract / agreement being supplied (in writing) by the customer to SEL prior to commencement of the Works. Without provision of 'evidence' by the customer to SEL confirming that a gas supply agreement is in place with a gas supplier, the gas meter/s cannot be supplied or installed.

Important Information if E.ON is your Intended Gas Supplier for this Development.

As part of the introduction of completion into the gas metering business, OFGEM (The Office of Gas and Electricity Markets) set up an approval scheme whereby accredited Meter Asset Managers (MAMs), of which Squire Energy Ltd (SEL) is one, would be able to install primary gas meters and the gas suppliers would then utilise these third party owned and maintained gas meters to charge for the throughput of their gas. This scheme was established in 2005, has been monitored and controlled by Lloyds Register (Energy) and in place with all gas suppliers using OFGEM approved MAM's meters since its inception to date.

SEL were advised by E.ON (in Jan 2014) that they will not now use third party meters but intend to use their own meters. This means that SEL will not be able to supply you with meter plant details, a competitive meter cost or subsequently supply and install gas meters if E.ON is your preferred gas supplier. This is a disappointing development and a unilateral approach taken by E.ON, one we believe to be against the spirit of competition in the gas industry. This has been brought to the attention of Ofgem. Please advise if E.ON is your preferred gas supplier so that we can remove the metering element from our quotation. You should not rely on any metering drawing or specification or dimensions that SEL may have provided if you opt to use E.ON as the gas supplier as any meter they may offer may differ significantly.

Should you advise SEL post-acceptance that your preferred gas supplier is to be E.ON (and therefore SEL will be unable to supply and install and maintain the meters) there will a charge levied to cover the re-stocking of any meter and additional admin. **For bespoke build meter modules which have been ordered and constructed, no refunds will be made.**

- No utilisation of any CHP (Combined Heat & Power) / gas boosting / gas compression.
 - SEL may not be able to undertake primary gas meter installations unless SEL has also undertaken the installation of the inlet / upstream infrastructure works. The supply / installation of the gas meter is not offered separately or as a separate `option` for acceptance at a later date, without SEL having first installed the infrastructure, or following any works by `others`.
 - Customer shall ensure Landlord/s / Tenant/s / End User/s has access to the / their gas meter/s at all times.
-

Project Specific Exclusions

- Working to any other terms and conditions.
- Any / all other Works (and services) other than those specified.
- Any / all other Works (and services) in areas deemed `unsafe` or in conflict with legislation or contrary to recognised and accepted safe working practices.
- Any / all Works beneath, below or in the vicinity of obstructions or scaffolding. All scaffolding must be removed in its entirety over / above / within the area of the Works by the Customer prior to the commencement of any works by SEL. Temporarily bridging or closing off scaffold is not acceptable.
- Any / all `legal` works and associated costs, negotiations with landowner or solicitors, payments to 3rd party building / landowners or using `non-standard` documentation for easements, consents or land transfers.
- Any / all groundworks, civils works and builders' works required within the site curtilage.
- All drillings, `cut outs`, openings, provision or fitting sleeves or sealing or fire-stopping between pipe / sleeve / entry, or any / all other works within or adjacent to site curtilage / building(s) / unit(s), meter housing(s) / bases / kiosks, etc, as required in order to facilitate gas main(s) / gas service(s) / downstream (outlet) pipework, installation, termination(s) and / or supply pipework route.
- Any / all works in regards to the design / construction / provision of gas meter housing / gas meter room / gas meter kiosk – unless stated to the contrary in the Quotation / Estimate.
- Any / all works in regards to the design / supply / installation / procurement of gas meter(s) where E.ON is your nominated gas supplier.
- Any / all works in regards to the supply / installation / procurement of downstream (outlet) pipework and / or connections to / from any gas meter(s) – unless stated to the contrary in the Quotation / Estimate.
- Provision of any (working) pressure at termination ECV other than `standard` / low pressure – unless stated to the contrary in the Quotation / Estimate.
- Provision of service entry fittings / termination via any method other than `standard` above ground / above DPC service entry / termination – unless stated to the contrary in the Quotation / Estimate.
- Utilisation by customer of any CHP (Combined Heat & Power) / gas boosting / gas compression - unless stated to the contrary in the Quotation / Estimate and only to the design parameters above.
- SEL may not be able to undertake primary gas meter installations unless SEL has also undertaken the installation of the inlet / upstream infrastructure works. The supply / installation of the gas meter is not offered separately or as a separate `option` for acceptance at a later date, without SEL having first installed the infrastructure, or following any works by `others`.

Squire Energy Ltd (SEL) – Acceptance of Quotation
Quotation Ref: P12523SR1
Issue Date: 08/09/2015



Site Details:

Site Address (at which the Works are to take place):		
Name of Main Site Contact:		
Name of Alternative Site Contact:		
Main Site Contacts:	Tel:	Fax:
Alternative Site Contacts:	Tel:	Fax:
Site Email:		

Customer / Company Details:

Name of Company Accepting Quotation / Estimate:		
Address of Company Accepting Quotation / Estimate:		
Company Registration Number:		
Company VAT Number:		
Name of Person Accepting Quotation / Estimate:		
Position of Person Accepting Quotation / Estimate:		
Customer / Company Contacts:	Tel:	Fax:
Customer / Company Email:		
Nominated Gas Supplier:		
Anticipated Start Date:		

I / We accept SEL' Quotation for the provision of Works (and Services) as detailed above, for the Project Price sum of **£ 58,700.00 + VAT** constituting an offer capable of acceptance and execution which will be fully in accordance with SEL' General Terms and Conditions of Contract only and to the exclusion of all other terms and conditions.

We have read and understood the Quotation, all assumptions, exclusions, notes and statements therein above upon which the Quotation is based which will form an integral part of the contract arising from the provision and acceptance of the Quotation.

Duly authorised for and on behalf of:

(Name of Company Accepting Quotation / Estimate)

Signed:

(By the 'Client' / 'Customer')

Name:

(Please print)

Date:

Important Customer Information

Easements and Consents

In the gas industry an easement is a legally binding agreement between a Gas Transporter (GT) – as the owner and operator of the gas plant – and the landowner. An easement restricts activities that can take place above a gas main and allows a GT access to repair and maintain.

A `Consent` is the written permission from a landowner to the GT to enter / excavate and / or install a gas service within their land. A `consent` is required when any low pressure service $\leq 63\text{mm}$ diameter crosses third party land. It is the responsibility of the customer to obtain any required consents and carry out all negotiations. Written proof of consent will be required and verified prior to the commencement of any planning or construction works.

Essentially, an easement is required for any gas main or low pressure service 63mm diameter or above and any diameter medium or intermediate pressure service installed within privately owned land, third party land or otherwise, that is not set out as highway vested in public ownership.

The GT will arrange any easements that they deem to be required. This is a chargeable activity and any (estimated only) costs can be provided by SEL as a separate item on the Quotation / Estimate.

It is recommended that as far as possible all third party easements and consents are avoided if a route within the public highway is available. Negotiating third party easements and consents are notoriously time consuming and can build long delays into the connections process.

If the land through which the proposed new gas supply, mains and services, etc, to be laid is owned or vested in a third party then an easement and / or land transfer (in the case of a governor / kiosk, etc) may be applicable and required between the landowner and the GT.

If this is the case then the customer is to provide all easements within the site boundary and will bear all legal costs, considerations and compensation payments as necessary and as applicable to placing the proposed new gas plant / governor on or within the private curtilage. It will not be possible to commence the gas supply installation works (planning or construction) until all legal `issues`, e.g. easements, transfers of land, etc, have been completed / `engrossed`.

If an easement is required estimated costs for establishing a standard easement, between the landowner and the GT, will be provided by SEL in our Quotation. The costs shown reflect estimated costs only applicable to the completion (engrossment) of the GT's standard easement only, between the land owner and the GT. Any amendments or changes, etc, by the landowners or the landowners' solicitor made / required to the GT's standard easement document may result in further / additional costs. Any estimated costs provided by SEL do not include for any `compensation` payments which may be required by a third party or land owner for placing the proposed gas plant installation within / across land in their ownership.

SEL' role regarding easements, etc, is to administer the process and to act as facilitator only.

If an easement is required please forward the enclosed SEL pro-forma to your client / the landowner and ensure that it is completed and returned to us at the above (SEL) office together with your acceptance and payment. This pro-forma is also available upon request if required.

Important Customer Information

Traffic Management Act (TMA) 2004

On 1 April 2008, the Traffic Management Act (TMA) 2004 came into force. The aim of the TMA (in addition to The New Roads and Street Works Act 1991) is to help tackle congestion and reduce disruption on the road network. The TMA has several parts, but the key section for new (gas) connection purposes covers street works activity. This part of the TMA will increase the requirements of the administration side of street works, and give further powers to Local Authorities for them to fulfil their duties under the TMA.

Key Changes

There are some key changes that as Squire Energy's customer you need to be aware of if any of the work that we must carry out to deliver your gas connection(s) takes place on the public highway / footpath that are or will be adopted by the Local Authority.

Timescales

We must ensure that a notice is issued to Local Authorities before commencing our works. The notice period ranges from three (3) working days (for emergency repairs only) up to three (3) months (for `standard` planned works i.e. new connections) depending on the scale and location of the work. A Local Authority (working alongside TfL and the Police etc) may also impose stringent working conditions, e.g. night-time working only, or further extended lead times applicable to closures of the highway in busy or congested areas.

Key Points

- The duration of works includes all works on site, i.e. setting up, excavating, installation of utility connections, reinstatement and clearing up.
- The forward notices can only be issued to the Local Authority once we have received your acceptance of our Quotation and the payment has cleared through the banking system.
- If your development means that we will need to work in more than one street, the TMA requires that we serve one notice per street.
- If changes to works occur or are needed following acceptance, we need to know as quickly as possible to liaise with the local authority in order to deliver your connections and mitigate additional costs.
- If changes to works occur or are notified to us once works have commenced on-site and as a result delays or extensions to the working `window` occur, then all additional charges levied on us / our contractors by the Local Authority under TMA may be passed to our customer plus an additional charge to cover administration. We therefore need to know as quickly as possible of any changes to liaise with the local authority in order to deliver your connections, etc.
- Local authorities will have more legislative powers to enforce compliance with the TMA requirements.

Local Authority Powers

- The powers of Local Authorities have been increased to aid co-ordination of street works and to reduce disruption. Some of these powers may affect the delivery of utility connections to your development, so you need to be aware of them.
- Power to give directions as to placing of new apparatus (e.g. gas plant) – A Local Authority can, on the grounds of excessive traffic disruption, direct us not to lay new equipment in a given street. We will then have to decide on a viable alternative route, and this may increase the Quotation / costs to you.

- Restrictions following other works – If other works have occurred in a given street, e.g. resurfacing, then the local authority can impose an embargo on further works of up to five (5) years. Fortunately, new customer connections are exempt from the full restriction, and instead you may need to wait 20 working days (minimum) from completion of the previous works before the connections works can begin. This however, may still result in considerable delays to planned commencement.

Introduction of a Permit Scheme

In order to help meet their 'Network Management Duty', Local Authorities can opt to become 'Permit Scheme Operators' under the TMA.

The fundamental difference between a Permit Scheme and the existing Noticing system (covered under the New Roads and Street Works Act 1991) is that when an application for a permit is made, we or our contractors are booking 'time on the highway'. The local authority has to approve our application and can set conditions on the works. The timescale for forward notice periods for permits and categories of permits is the same as those indicated previously. However, there will be a charge for the permits. The permit fee will be included within the Quotation that Squire Energy provides to you – if it is known at the time of the Quotation.

If a permit scheme is introduced after Squire Energy has provided our Quotation to you for the work then there will be additional costs. We regret that such costs are applicable but must advise that these additional costs will be submitted to you in the form of a Variation to Order / Quotation which must be accepted and paid for in full before the planning for the work can re-commence.

If your requirements change following approval of a permit, we can request a variation from the Local Authority. However, the Local Authority will make a charge for permit variations that we will have to pass on to you plus an administrative uplift.

Each Local Authority can decide whether or not to become a 'Permit Scheme Operator', and can also decide the scope of its permit scheme, and the level of its permit fees. Therefore we are unable to provide a list of 'standard' fees across the UK as these do not exist.

Summary

- The Traffic Management Act 2004 (TMA) came into effect on 1 April 2008.
- The TMA includes new longer forward notice periods and the new powers outlined above.
- There will be less flexibility around work dates and durations – so it is important to let us know as soon as you can about potential site delays. Then we can plan works carefully and provide accurate additional information to the Local Authority to try and mitigate the additional costs.
- Some Local Authorities are still evaluating whether to opt to be Permit Scheme Operators, and the scope and fee levels in their schemes. They can choose to do this at any time from 1 April 2008 onwards.
- Further detail about the Traffic Management Act can be found at the Department for Transport's website **www.dft.gov.uk**

Should you have any questions or concerns as to how the TMA may impact your proposed / pending new gas connection then please do not hesitate to contact SEL – where / if known, details will be stated on your Quotation / Estimate.

Important Customer Information



Gas Meter – Design Data and Pressure Terms Definitions

Pressure Tier	Operational Pressures at the Outlet of the ECV			Design Pressures at the Outlet of the ECV	
	Design Minimum Pressure (DMP)	Lowest Operating Pressure (LOP)	Maximum Operating Pressure (MOP)	Design Pressure (DP)	Design Maximum Incidental Pressure (DMIP)
Low	19 mbarg	25 mbarg – See Note 1	75 mbarg	75 mbarg	200 mbarg
Medium (35)	35 mbarg	35 mbarg	185 mbarg	2.0 barg	2.7 barg
Medium (65)	65 mbarg	75 mbarg	250 mbarg	2.0 barg	2.0 barg
Medium (105)	105 mbarg	105 mbarg	1.1 barg	2.0 barg	2.7 barg
Medium (180)	180 mbarg	180 mbarg	1.6 barg	2.0 barg	2.7 barg
Medium (270)	270 mbarg	280 mbarg	2.0 barg	2.0 barg	2.7 barg
Intermediate	See Note 2	See Note 2	See Note 2	7.0 barg	9.31 barg
High	See Note 2	See Note 2	See Note 2	See Note 2	MOP + 10%

Note 1:

Operating pressures of 21.5 mbarg may occur, during normal operation, at the outlet of the emergency control valve (ECV) on parts of the GT low pressure (LP) networks. However, experience has shown that LP meter installations will provide a satisfactory outlet pressure when designed for an inlet pressure of 25 mbarg and a maximum pressure absorption (measured across the meter installation) of 4 mbarg, determined at an inlet design minimum pressure of 19 mbarg. BS6400-1, IGEM/GM/6 and IGEM/GM/8 use / will use these design criteria and, therefore, 25 mbarg is used in the table above and in the SEL Quotation for consistency with these metering and gas industry standards and 19 mbarg shall be the stated design min. pressure with 4 mbarg pressure drop across the meter (incl. installation module) with 15 mbarg at the meter outlet. Note, pressures as stated are not guaranteed but reflect those in use within the gas industry and offered by the GT.

Note 2:

On intermediate and high pressure networks, SEL has to confirm with the GT the operational pressures at the outlet of the particular service (pipe) ECV.

Term	Abbreviation	Definition
Design Minimum Pressure	DMP	The minimum pressure that may occur at the end of any service pipe at the time of system design flow rate under extreme gas supply and maintenance conditions
Lowest Operating Pressure	LOP	The lowest pressure that may occur under normal operating conditions
Maximum Operating Pressure	MOP	The maximum pressure at which a system can be operated continuously under normal operating conditions
Design Pressure	DP	The pressure on which design calculations are based
Design Maximum Incidental Pressure	DMIP	The maximum pressure which a system is permitted to experience under fault conditions, limited by safety devices, when the system is operated at the design pressure

Important Customer Information



Important Information if E.ON is your Intended Gas Supplier

As part of the introduction of competition into the gas metering business, OFGEM (The Office of Gas and Electricity Markets) set up an approval scheme whereby accredited Meter Asset Managers (MAMs), of which Squire Energy Ltd (SEL) is one, would be able to design, install and operate primary gas meters and the Gas Suppliers (e.g. E.ON) would then utilise these third party gas meters to charge for the throughput of their gas. This scheme was established in 2005, has been monitored and controlled by Lloyds Register (Energy) and in place with all Gas Suppliers using OFGEM approved MAM's meters since its inception to date.

New Meters/Meter Quotations

SEL and other independent MAM's were recently advised by E.ON that they will not now use any third party meters but intend to use their own meters. This means that, **unless you (or the building user) contract with SEL directly for provision of gas meter services****, SEL will not be able to supply you with meter plant details, a competitive meter cost or subsequently supply and install gas meters if E.ON is your preferred Gas Supplier. Note – we are unaware of any other Gas Supplier apart from E.ON who has taken this approach.

This is a disappointing development and a unilateral approach taken by E.ON, one we believe to be against the spirit of competition in the gas industry and makes the UK gas supply chain more complicated for the End User. Please advise if E.ON is your preferred Gas Supplier so that we can remove the metering element from our quotation. You should not rely on any metering drawing or specification or dimensions that SEL may have provided if you opt to use E.ON as the Gas Supplier as any meter they may offer may differ significantly.

Existing Meters

SEL and other independent MAM's were recently advised by E.ON that customers now need to have their existing meter exchanged to E.ON's own meter (with attendant disruption and wastage) or, where a customer wishes to retain the existing metering equipment and associated meter service provider, E.ON will support that decision. The choice to retain the existing meter, however, **will mean that the customer/building user will need to enter into an arrangement with that metering service provider (e.g. SEL)**. E.ON's price (reduction in your standing charge) will reflect the fact that the customer is bearing the metering cost directly**.

** Conventionally, the costs of MAM's such as SEL's gas metering services (emergency, maintenance, replacement) is covered within the standing charge element of your of the gas bill – the Gas Supplier charges you for our meter services and we charge the Gas Supplier. **By entering directly into a contract with us for provision of meter services it is highly likely that you will benefit from a cost reduction as you will not be paying any "add on" or "administration fees" from the Gas Supplier.** In addition, the gas meter will remain on site as long as it's needed and not subject to being replaced regularly for no good reason if other Gas Suppliers follow and take this position.

Squire Energy charge for meter services twice annually, 6 month in arrears – in other words, you use the meter for 6 months before SEL invoice you for the cost of meter services for the previous 6 months. Squire Energy will supply the agreement. Squire Energy will provide you with our published cost for meter services at your site so you can, if you wish, compare these cost reduction provided by E.ON.

Please note that if the Customer chooses another Gas Supplier apart from E.ON, none of the above applies – only E.ON has taken this approach.

We will contact you shortly to explain further if you wish and help you chose your decision.

A decision is needed by the customer one way or the other in order to maintain provision of the gas meter, maintenance and emergency cover.

If you wish to discuss this with Squire Energy we would be happy to discuss with you via:

Squire Energy

Mark Halsey
Meter Manager (Technical)
T: 01372 360607
M: 07879 814 843
mark.halsey@squireenergy.co.uk

Squire Energy

Terry Edwards
Meter Manager (Commercial)
T: 01372 360 607
M: 07778 049 536
terry.edwards@squireenergy.co.uk
Squire Energy

If you wish to query any of above, E.ON advises that you speak to:

E.ON

Katey Greene
Business Development Manager
T: 02476 182837
M: 07580 994516
F: 0115 8834451
katey.greene@eon-uk.com
Business Energy Connections

E.ON Energy Solutions Limited
Greenwood House, Westwood Business Park
Westwood Way, Coventry, CV4 8TT
www.eon-uk.com

Issued by Squire Energy Ltd.

Disclaimer

Any information relating to `customer guidance` / `information` / `additional information` contained within or attached to this Quotation / Estimate, or subsequently forwarded has been / is provided for assistance, guidance and general information purposes only. Squire Energy Ltd (SEL), its employees and agents will not be responsible for its accuracy or for any outcome or any loss, however arising, that may arise from its use or interpretation or reliance on this information. Whilst SEL makes every attempt to ensure the accuracy and reliability of the information provided, this information should not be relied upon as a substitute for formal advice from the originating bodies, manufacturers, suppliers, appropriate departments of the Local Authorities / County Council and / or partners or any specialist legal advisors.

Our Ref: P12523SR2

Cudd Bentley Consulting
Ashurst Manor
Church Lane
Sunninghill
Ascot
Berkshire
SL5 7DD

FAO: Omer Khorasani

8th August 2015

Dear Omer,

**RE: Disconnection of Natural Gas Infrastructure Budget Indication
Marketfield Road, High Street and Marketfield Way, Reigate, Surrey, RH1 1RH**

Further to receipt of your correspondence dated 14/07/2015, we are pleased to present our Budget Indication for the gas service disconnection works to the above development.

Outlined below is Squire Energy Limited' (SEL) Budget Indication for the Works. This Budget Indication is not offered as capable of acceptance and does not constitute a formal offer capable of acceptance nor does it offer any binding agreement or contract. This Budget Indication is provided for general information only and may be regarded as an indicative guide (only) for a period of 40 calendar days from the date shown. Any subsequent Project Price as stated in a Quotation may differ from that indicated below.

We have prepared this Budget Indication based upon the information that has been supplied to us. In addition to the general assumptions and exclusions we have made we may have had to make a number of project specific assumptions and exclusions, which are detailed below.

This Budget Indication is to provide the Works (and services) as detailed below:

Service Disconnection Works

- 1) Attend site during normal working hours and carry out off site excavation works only for the disconnection of existing polyethylene (PE) and / or steel low pressure (LP) gas during normal working hours as detailed below:
 - Rear of No. 36-44
 - No.36 (Subway)
 - No.28-24 (Argos)
 - No.26 (Oxfam)
 - No.26 (Riser above Oxfam)
 - No.24 (empty)
 - No.22 (Coral)
 - No.20 (Mama Mia)
 - No.20a (Mama Mia)
 - No.18 (British Heart)

Note 1:

The above list of supplies is compiled on external indication of gas supplied only (Valve Covers/Meter boxes), internal access available. All services assumed to be 90mm / 3". Other services may be onsite, this is a budget indication only.

Note 2:

It is the customers' responsibility to ensure that the existing primary gas metering equipment has been disconnected and removed and that all existing downstream (outlet) installation pipework has been purged and has been rendered safe prior to commencement of (SEL) Works. The gas meter/s must be removed by an accredited operative.

- 2) Excavation and permanent reinstatement of excavation in the public highway, only.
 - 3) All materials deemed necessary for the above disconnection / isolation of upstream gas pipework, against the current scope of Works.
 - 4) Purging and de-commissioning (only) of existing upstream LP PE / steel pipework gas services and leaving pipework capped / blanked and in-situ ready for removal by others – if required.
 - 5) Project supervision and management.
-

Notes**Note 3:**

It is assumed that the proposed gas meter location is suitable, correctly designed, sized, permanently accessible, permanently and adequately and naturally (only permissible method) ventilated direct to the outside atmosphere equally distributed at high and low levels and that it complies with all requisite IGEM recommendations, MAM (Meter Asset Manager) and GT requirements.

Note 4:

It is assumed that no obstruction, scaffolding or scaffold supports / stanchions are on or above the proposed area of the Works. No works may be considered / or will be carried out by SEL below or in the vicinity of scaffolding. All scaffolding must be removed in its entirety over / above / within the area of the Works prior to the commencement of any works by SEL. Temporarily bridging or closing off scaffold is not acceptable.

Note 5:

It is assumed that the customer will provide and maintain a safe (e.g. accessible, secure, adequately lit, free of asbestos or other contaminants, pests etc.) area for the Works within the site curtilage and that no obstruction, scaffolding or scaffold supports / stanchions are on or above the proposed area of the Works. No works may be considered / or will be carried out by SEL in unsafe or potentially unsafe locations or conditions, below or in the vicinity of scaffolding. All scaffolding must be removed in its entirety over / above / within the area of the Works prior to the commencement of any works by SEL. Temporarily bridging or closing off scaffold is not acceptable.

Budget Indication

- **£ 49,898.00 + VAT**

Note 6:

The 'Budget Indication' is offered as a fixed price lump sum and is not subject to 'retention' or 'discount'.

Note 7:

The 'Budget Indication' above, is based upon a single visit and continuous working during normal working hours. If works are to be phased or staged, or if unplanned / unscheduled interruptions occur there will be an additional charge levied of £850.00 + VAT for each mobilisation and de-mobilisation event. Should working outside of normal working hours and / or if additional or repeat applications for consents or road closures or licences or traffic management plans to the Local Authority / TfL etc are required (if stage / phased working

applicable) or for additional lane rental charges the this / these will be subject to prior consent, Variation to Order and prior receipt of payment.

Note 8:

The 'Budget Indication' above, is based upon the assumption that no working outside of normal working weekday hours will be required, that no additional traffic management is required, that no full lane or road closures will be required or lane rental charges will be imposed by the Highways Authority. Should these be imposed (not known until post-acceptance and commencement of planning process), then this / these will be subject to prior consent, Variation to Order and prior receipt and clearance of full payment.

Note 9:

The 'Budget Indication' above is an 'estimated' indicative cost only and does not constitute a formal offer capable of acceptance nor does it offer any binding agreement or contract. Project prices for firm-price Quotations may differ from an Estimate or Budget Indication.

Terms and Conditions

This Budget Indication has been prepared and is based solely upon SEL General Terms and Conditions of Contract – which is available upon request, and to the exclusion of all other terms and conditions. In addition to these terms, any notes, statements, assumptions and exclusions as detailed in the Budget Indication will apply.

This Budget Indication has been prepared and is offered as valid for the period as stated and on the assumption that all Works will commence within six (6) months of receipt of acceptance and clearance of payment (and receipt of all notices, consents and approvals, as may be required) and that all Works will be finally completed within six (6) months of commencement.

Should you require any further assistance, or wish to discuss any part of this Budget Indication then please do not hesitate to contact us.

Yours sincerely,



Stephen Rose
Project Estimator
For and On behalf of Squire Energy Limited

Enc: Project Specific Assumptions
Project Specific Exclusions
Important Customer Information - Traffic Management Act (TMA) 2004
Disclaimer

Project Specific Assumptions

Should any of the project specific or general assumptions or exclusions prove to be incorrect, in any way unclear or in conflict with you or your clients' requirements you should clarify this to us in writing prior to the commencement of the Works and Services.

- All Works in accordance with / offered / based upon SEL General Terms and Conditions of Contract
- All Works are to be undertaken in a clear and safe area – provided and maintained, if off-site by SEL and, provided and maintained, if on-site by the customer.
- No obstruction, scaffolding or scaffold supports / stanchions are on or above the proposed area of the Works. No works may be considered / or will be carried out below or in the vicinity of scaffolding. All scaffolding is to be removed in its entirety over / above / within the area of the Works prior to the commencement of any works by SEL. Temporarily bridging or closing off scaffold is not acceptable.
- Any / all works in regards to the purging / decommissioning / disconnecting / removal of any existing connected downstream / outlet pipework / appliances are the responsibility of the customer – unless stated to the contrary in the Quotation / Estimate.
- Any / all works in regards to the purging / decommissioning / disconnecting / removal of any existing connected gas meter / metering equipment / rigs, etc, are the responsibility of the customer – unless stated to the contrary in the Quotation / Estimate.
- No road and / or lane closures will be required (by the Local Authority) and / or working outside of normal working weekday hours to facilitate the Works by SEL. If road / lane closures or working outside of normal working hours (`Normal Working Hours` are deemed: Monday to Friday inclusive – 0830 to 1630 hours, excluding evenings, weekends, public and bank holidays) are required (by the Local Authority / or the Customer / or the Police / or traffic management companies [Transport for London – TfL]) additional costs and extended lead times will apply.
- Isolation / removal / relocation of existing (primary) gas meter/s is subject to SEL receiving valid details from the customer detailing the current or previous gas supplier/s / shipper/s supplying gas via the meter/s concerned (this may include meter serial number/s / Meter Point Reference Number/s (MPRN) / billing information / premise and address details, etc).

Project Specific Exclusions

- Working to any other terms and conditions.
 - Any / all other Works (and services) other than those specified.
 - Any / all other Works (and services) in areas deemed `unsafe` or in conflict with legislation or contrary to recognised and accepted safe working practices.
 - Any / all Works beneath, below or in the vicinity of obstructions or scaffolding. All scaffolding must be removed in its entirety over / above / within the area of the Works by the Customer prior to the commencement of any works by SEL. Temporarily bridging or closing off scaffold is not acceptable.
 - Any / all `legal` works and associated costs, negotiations with landowner or solicitors, payments to 3rd party building / landowners or using `non-standard` documentation for easements, consents or land transfers.
 - Any / all works in regards to the purging / decommissioning / disconnecting / removal of any connected downstream (outlet) pipework or appliances – unless stated to the contrary in the Quotation / Estimate.
 - Any / all works in regards to the purging / decommissioning / disconnecting / removal of any existing connected primary / secondary gas meter / metering equipment / module / rigs, etc. – unless stated to the contrary in the Quotation / Estimate.
-

Important Customer Information

Traffic Management Act (TMA) 2004

On 1 April 2008, the Traffic Management Act (TMA) 2004 came into force. The aim of the TMA (in addition to The New Roads and Street Works Act 1991) is to help tackle congestion and reduce disruption on the road network. The TMA has several parts, but the key section for new (gas) connection purposes covers street works activity. This part of the TMA will increase the requirements of the administration side of street works, and give further powers to Local Authorities for them to fulfil their duties under the TMA.

Key Changes

There are some key changes that as Squire Energy's customer you need to be aware of if any of the work that we must carry out to deliver your gas connection(s) takes place on the public highway / footpath that are or will be adopted by the Local Authority.

Timescales

We must ensure that a notice is issued to Local Authorities before commencing our works. The notice period ranges from three (3) working days (for emergency repairs only) up to three (3) months (for `standard` planned works i.e. new connections) depending on the scale and location of the work. A Local Authority (working alongside TfL and the Police etc) may also impose stringent working conditions, e.g. night-time working only, or further extended lead times applicable to closures of the highway in busy or congested areas.

Key Points

- The duration of works includes all works on site, i.e. setting up, excavating, installation of utility connections, reinstatement and clearing up.
- The forward notices can only be issued to the Local Authority once we have received your acceptance of our Quotation and the payment has cleared through the banking system.
- If your development means that we will need to work in more than one street, the TMA requires that we serve one notice per street.
- If changes to works occur or are needed following acceptance, we need to know as quickly as possible to liaise with the local authority in order to deliver your connections and mitigate additional costs.
- If changes to works occur or are notified to us once works have commenced on-site and as a result delays or extensions to the working `window` occur, then all additional charges levied on us / our contractors by the Local Authority under TMA may be passed to our customer plus an additional charge to cover administration. We therefore need to know as quickly as possible of any changes to liaise with the local authority in order to deliver your connections, etc.
- Local authorities will have more legislative powers to enforce compliance with the TMA requirements.

Local Authority Powers

- The powers of Local Authorities have been increased to aid co-ordination of street works and to reduce disruption. Some of these powers may affect the delivery of utility connections to your development, so you need to be aware of them.
- Power to give directions as to placing of new apparatus (e.g. gas plant) – A Local Authority can, on the grounds of excessive traffic disruption, direct us not to lay new equipment in a given street. We will then have to decide on a viable alternative route, and this may increase the Quotation / costs to you.

- Restrictions following other works – If other works have occurred in a given street, e.g. resurfacing, then the local authority can impose an embargo on further works of up to five (5) years. Fortunately, new customer connections are exempt from the full restriction, and instead you may need to wait 20 working days (minimum) from completion of the previous works before the connections works can begin. This however, may still result in considerable delays to planned commencement.

Introduction of a Permit Scheme

In order to help meet their 'Network Management Duty', Local Authorities can opt to become 'Permit Scheme Operators' under the TMA.

The fundamental difference between a Permit Scheme and the existing Noticing system (covered under the New Roads and Street Works Act 1991) is that when an application for a permit is made, we or our contractors are booking 'time on the highway'. The local authority has to approve our application and can set conditions on the works. The timescale for forward notice periods for permits and categories of permits is the same as those indicated previously. However, there will be a charge for the permits. The permit fee will be included within the Quotation that Squire Energy provides to you – if it is known at the time of the Quotation.

If a permit scheme is introduced after Squire Energy has provided our Quotation to you for the work then there will be additional costs. We regret that such costs are applicable but must advise that these additional costs will be submitted to you in the form of a Variation to Order / Quotation which must be accepted and paid for in full before the planning for the work can re-commence.

If your requirements change following approval of a permit, we can request a variation from the Local Authority. However, the Local Authority will make a charge for permit variations that we will have to pass on to you plus an administrative uplift.

Each Local Authority can decide whether or not to become a 'Permit Scheme Operator', and can also decide the scope of its permit scheme, and the level of its permit fees. Therefore we are unable to provide a list of 'standard' fees across the UK as these do not exist.

Summary

- The Traffic Management Act 2004 (TMA) came into effect on 1 April 2008.
- The TMA includes new longer forward notice periods and the new powers outlined above.
- There will be less flexibility around work dates and durations – so it is important to let us know as soon as you can about potential site delays. Then we can plan works carefully and provide accurate additional information to the Local Authority to try and mitigate the additional costs.
- Some Local Authorities are still evaluating whether to opt to be Permit Scheme Operators, and the scope and fee levels in their schemes. They can choose to do this at any time from 1 April 2008 onwards.
- Further detail about the Traffic Management Act can be found at the Department for Transport's website **www.dft.gov.uk**

Should you have any questions or concerns as to how the TMA may impact your proposed / pending new gas connection then please do not hesitate to contact SEL – where / if known, details will be stated on your Quotation / Estimate.

Disclaimer

Any information relating to `customer guidance` / `information` / `additional information` contained within or attached to this Quotation / Estimate, or subsequently forwarded has been / is provided for assistance, guidance and general information purposes only. Squire Energy Ltd (SEL), its employees and agents will not be responsible for its accuracy or for any outcome or any loss, however arising, that may arise from its use or interpretation or reliance on this information. Whilst SEL makes every attempt to ensure the accuracy and reliability of the information provided, this information should not be relied upon as a substitute for formal advice from the originating bodies, manufacturers, suppliers, appropriate departments of the Local Authorities / County Council and / or partners or any specialist legal advisors.

7.0 Virgin Media

Your Reference: Marketfield Road, Redhill
Our Reference: VM/CIP/255362



Cudd Bentley Consulting
Ashurst Manor
Church Lane
Sunninghill
Ascot
Berks
SL5 7DD

Virgin Media
1 Dove Wynd
Strathclyde Business Park
Bellshill
ML4 3AL
Tel: 0800 408 0088
Fax: 01698 565 551

12/01/2016

Dear Mr Cole,

NRSWA 1991 Section 83, 84 & 85 (S142, 143 & 144 Scotland) - C4 Detailed Estimate

Marketfield Road RH1 1RH,

Further to your payment received requesting a detailed estimate of Virgin Media costs for diversions associated with the above site.

Attached to this letter is a detailed specification of the works required, please sign and return one copy of the specification, with your cheque, to indicate agreement with the proposals in the specification. The estimate is valid for three months from the date of this letter. In line with Virgin Media policy, if additional costs are required correspondence will be sent and agreement made before commencement of any additional works. However if no additional costs are required the estimates are deemed to be accepted as the full and final cost of the work upon payment. Subsequent reconciliations are only permissible in accordance with the three exceptions as outlined in Virgin Media's Cost Recovery Policy Statement in respect of Private Developers.

The detailed estimated cost of altering Virgin Media apparatus (including VAT) is £835.15.

Please find a breakdown of this costing attached.

The specification includes a provisional programme indicating the timescales required to complete Virgin Media diversions upon receipt of cheque (and the agreed programme of works). Cheques should be made payable to 'Virgin Media Limited' and should be marked for the attention of Diversionary Works Team and these should be forwarded to:

Virgin Media
Diversionary Works Team
Access Network Planning
1 Dove Wynd
Strathclyde Business Park
Bellshill
ML4 3AL

Upon receipt of cheque we will issue an invoice for the full amount and request programming of the works. It is Virgin Media policy that work **will not start** until full payment has been received.

Any works adjacent to our plant must be undertaken in accordance with Health & Safety guidance HS(G)47.

Yours faithfully

Fraser Smith

Fraser Smith
Network Planner

Your Reference: Marketfield Road, Redhill
Our Reference: VM/CIP/255362



Virgin Media
1 Dove Wynd
Strathclyde Business Park
Bellshill
ML4 3AL
Tel: 0800 408 0088
Fax: 01698 565 551

C4 Detailed Estimate - Private Developer or Non Highway Authority

Client: Cudd Bentley Consulting
Clients Project: Marketfield Road RH1 1RH
Clients Representative:
Date Estimate Prepared: 12/01/2016 *Valid for 12 weeks*

Direct Labour: £101.36
Contractor Charges: £385.16
Materials: £0.00
Overheads: £209.44
Sub Total: £695.96

Less

Betterment: £0.00 Appendix F
Recovered Materials: £0.00

Total Cost: £695.96
Total (Inc. VAT): £835.15 **PAYMENT IN ADVANCE (SEE BELOW)**

Note:
This payment work estimated has been prepared with due care by Virgin Media, who accept no liability for any errors or omissions. Repayment work is estimated on a cost plus overhead basis. With works of this nature there can be unforeseen eventualities, which may affect the actual charges on completion of the works, you should therefore allow for such contingencies within your project budget.
We will require advanced payments prior to the ordering of materials or the start of works on site.
Timescales quoted are approximate and will be reviewed when we have an opportunity to view and understand the actual project plan. Please provide details of formal Construction (Design & Management) Regulations 2007 appointments for this project together with full details and risk assessments of any known hazards on or adjacent to the site unless you have previously provided these details. Please mark your **unconditional** order for the attention of the project planner shown below.
Cheques should be made payable to Virgin Media Limited

Timescales:
Approximately 5 weeks for completion of works, following receipt of the C5 payment and AGREED PROGRAMME OF WORKS & START DATE with appointed Site Agent.

NOTE: ANY alteration to original scheme and/or programme of works may result in a revaluation of timescale and will require agreement between the Virgin Media Project Planner and clients appointed Site Agent.

Estimate Prepared by: Fraser Smith - Network Planner

Signature: _____
Fraser Smith

Contact No: 01293405217
Virgin Media Limited. Registered Office: 260, 270 & 280 Bartley Way, Bartley Wood Business Park, Hook, Hampshire, RG27 9UP. No. 2591237